

**The Philadelphia Parking Authority  
701 Market Street, Suite 5400  
Philadelphia, PA 19106**

**RFP No. 24-13  
Plumbing Services at Lot 10  
Addendum One**

To: See Email Distribution List

From: Shannon Stewart  
Manager of Contract Administration

Date: July 31, 2024

No Pages: 1 plus Appendix A

This addendum is issued on July 31, 2024, prior to the proposal due date to add, delete, modify, clarify and/or to respond to questions submitted by Prospective Offerors regarding the work included in the above referenced solicitation.

**CHANGES TO THE RFP DOCUMENT**

1. **As Builts:** As builts are attached as Appendix A of this addendum.

**QUESTIONS**

2. **Question:** Are the outside utility lines the Offeror's responsibility?  
**Response:** Yes, the outside utility lines are the Offeror's responsibility.
3. **Question:** Can you please provide the link to the drawings?  
**Response:** No drawings exist for this RFP, however, as-builts have been provided as Appendix A of this addendum.
4. **Question:** Can as-builts be provided for the underground electrical mentioned at the Pre-Proposal meeting?  
**Response:** Please see Appendix A.
5. **Question:** There is a 3-month lead time on meter pits, how will lead time effect the project schedule?  
**Response:** Please include any lead times in your proposal. Any lead times identified in your proposal should be included in the proposed project schedule.

**END OF ADDENDUM ONE**

RFP No. 24-13 Addendum #1

Appendix A

As Builts





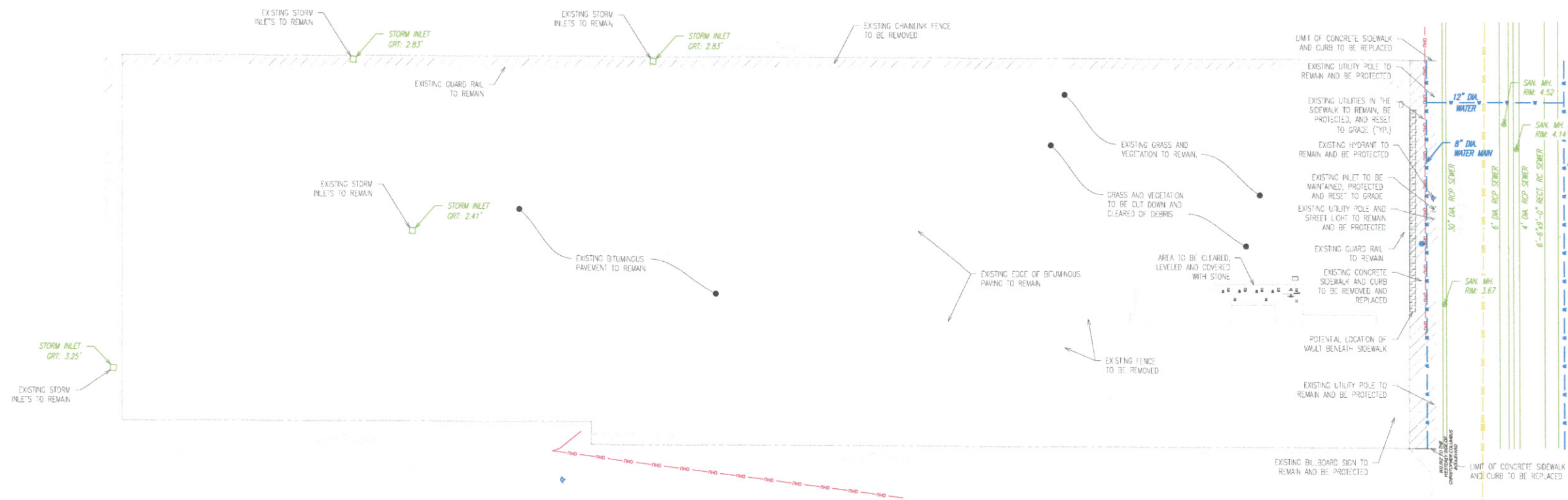
**ASSOCIATES**  
ENGINEERS & ARCHITECTS

532 TOWNSHIP LINE ROAD  
BLUE BELL, PA 19422  
610.628.9400  
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SEAL:

Philadelphia Parking Authority  
**General Construction at  
6 East Oregon Avenue**  
6 East Oregon Avenue, Philadelphia, PA



**1** EXISTING CONDITIONS AND DEMOLITION PLAN  
SCALE: 1"=40'-0"

GENERAL DEMOLITION NOTES:

- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS IDENTIFIED BY THE CONTRACTOR SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF ACTIVITY.
- THE FIRM OR DESIGN PROFESSIONAL IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS AND OTHER FEDERAL, STATE, AND LOCAL REGULATIONS, TO ENSURE THE PUBLIC AND CONTRACTOR SAFETY.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
  - ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
  - ALL EXISTING UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITH THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
  - PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING DEMOLITION ACTIVITIES.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES AND ANY OTHER IMPROVEMENTS TO REMAIN ON OR OFF SITE.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE MANUAL ON UNLAWFUL TRAFFIC CONTROL.
- USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR PRE-DEMOLITION CONDITION.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH FEDERAL, STATE, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEMS TO THE PRE-DEMOLITION CONDITION.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/UNSATURABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.

Dedicated Space for City Department Approval Stamps

**ROCKPORT CONSTRUCTION CO, INC.**  
231 N. WYCOMBE AVE. LANSDOWNE, PA 19050  
**PHILADELPHIA PARKING AUTHORITY**  
**GENERAL CONSTRUCTION AT 6 E OREGON AVE**  
PHILADELPHIA, PA 19141  
DWG: 225-21 DATE: 3-27-23  
**AS-BUILT/PROJECT  
RECORD DRAWINGS**



Dial 8-1-1 or 1-800-242-1776 not less than 3 business days nor more than 10 business days prior to the start of excavation.  
Coordinate your projects via Coordinate PA at [www.paonecall.org](http://www.paonecall.org)  
Pennsylvania One Call System Serial Number  
[2022055-080]-[000]

NO.	DATE	REVISIONS
1	5/4/22	FINAL REVIEW

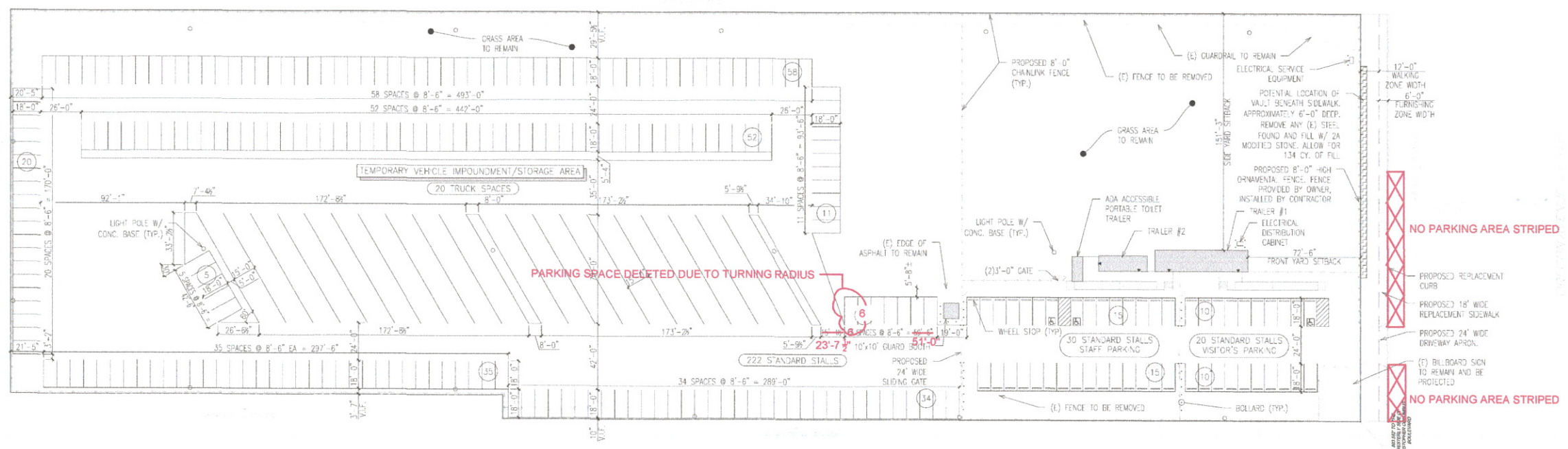
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CHECKED:	AW
SCALE:	AS SHOWN
DATE:	04/13/2022

DRAWING TITLE:  
**EXISTING CONDITIONS  
AND DEMOLITION PLAN**

DRAWING No.  
**A-001**

SEAL:

Philadelphia Parking Authority  
**General Construction at 6 East Oregon Avenue**  
 6 East Oregon Avenue, Philadelphia, PA



**1 SITE IMPROVEMENT PLAN**  
 SCALE: 1"=40'-0"

PHILADELPHIA COMPLETE STREETS REQUIRED MINIMUM WIDTHS				
STREET TYPE	TOTAL SIDEWALK WIDTH	FURNISHING ZONE	WALKING ZONE	BUILDING ZONE
URBAN ARTERIAL	>/= 12'	>/= 4'	>/= 6'	NO MIN.

**ROCKPORT CONSTRUCTION CO., INC.**  
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**GENERAL CONSTRUCTION AT 6 E OREGON AVE**  
 PHILADELPHIA, PA 19141  
 DWG: 225-21 DATE: 3-27-23  
**AS-BUILT/PROJECT RECORD DRAWINGS**

Dedicated Space for City Department Approval Stamps

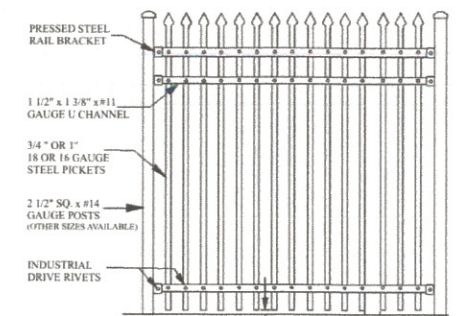
NOTE:  
 REFER TO SPECIFICATION SECTION 011200 - MULTIPLE CONTRACT SUMMARY FOR MORE DETAILED DESCRIPTIONS OF THE SCOPE OF WORK BELOW.

GENERAL CONSTRUCTION SCOPE OF WORK	
DESCRIPTION	
General Conditions, including Divisions 00 & 01 requirements	
Foundations, including deck footings and anchoring of trailers	
Setting of Trailers	
Concrete Paving, including earthwork	
Wood Patio Decking and Deck Structure	
Interior construction, including modifications to partitions, installing new doors, interior glazed openings, and fittings	
Line striping, bollards, and precast wheel stops	
Removal of existing fencing	
Chain Link Fences and Gates, Perimeter of Lot, Owner Furnished, Contractor Installed	
Chain Link Fences and Gates, Interior of Lot, Contractor Provided	
Decorative Metal Fence, Owner Furnished, Contractor Installed	
Removal of spoils from excavation for fence post foundations	
Modifications to HVAC System	

ELECTRICAL CONSTRUCTION SCOPE OF WORK	
DESCRIPTION	
Coordination with utility company for new electric service to the site	
Service equipment installation and connection to utility	
Site electrical distribution	
Site lighting	
Site security	
Electrical service to trailers	
Interior security	
Modifications to duplex outlets due to interior partition modifications	
Work included on Sheet E-102	

ZONING PERMITS: ZP-2020-003908, ZP-2022-000366

ZONING DATA FOR DISTRICT I-2		
	REQUIRED	PROVIDED
LOT DIMENSIONS	AREA OF LOT = 219,999 SF	
Max. Occupied Area (% of lot)	100%	1.2%
YARDS		
Min. Front Yard Depth (ft.)	0	72.5
Min. Side Yard Width, Each (ft.)	6 if used	151.25/95.67
Min. Rear Yard Depth (ft.)	8 if used	597.67
HEIGHT		
Max. Height	60 if abutting a Residential or SP- PO district; otherwise no limit	>60
FLOOR AREA RATIO		
Max. Floor Area Ratio (FAR)(% of lot area)	500	>1%



NOTES:  
 1. OWNER FURNISHED, CONTRACTOR INSTALLED  
 2. TACONY 3 RAIL STYLE, 6'-0" HIGH ORNAMENTAL STEEL FENCE  
 3. COLOR TO BE BLACK

**2 ORNAMENTAL FENCE DETAIL**  
 SCALE: NTS

NO.	DATE	REVISIONS
1	5/4/22	FINAL REVIEW
		DESIGN: EM
		DRAWN: EM
		CHECKED: AW
		SCALE: AS SHOWN
		DATE: 04/13/2022

DRAWING TITLE:  
**SITE IMPROVEMENT PLAN**

DRAWING NO.:

**A-002**



ASSOCIATES  
ENGINEERS & ARCHITECTS

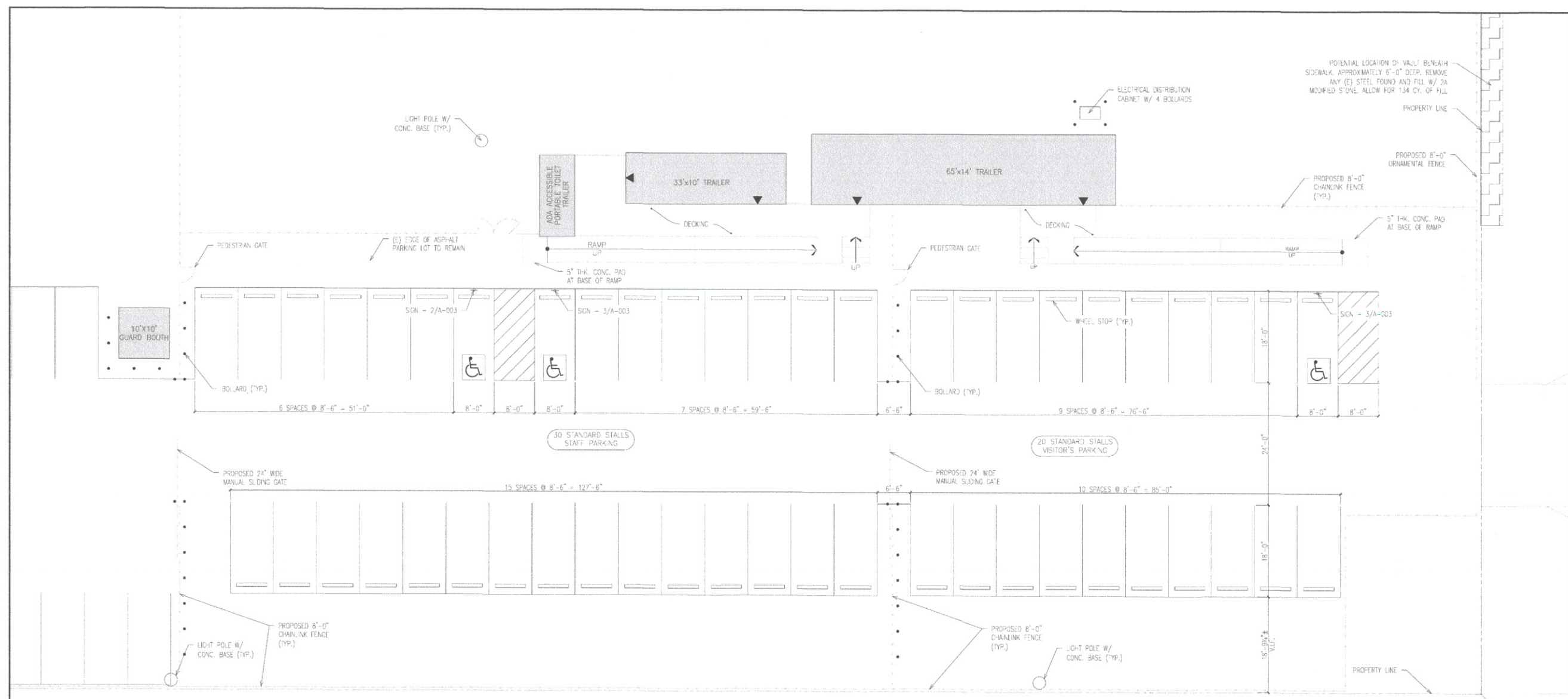
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SEAL:

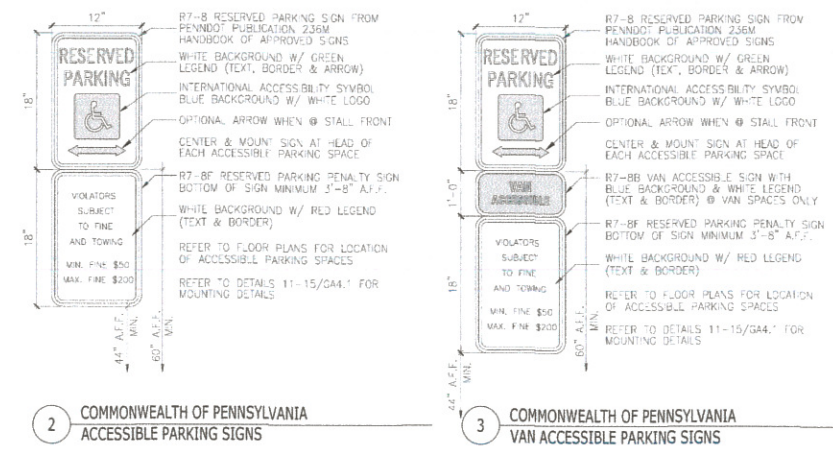
Philadelphia Parking Authority  
General Construction at  
6 East Oregon Avenue  
6 East Oregon Avenue, Philadelphia, PA



1 EMPLOYEE/VISITOR'S LOT PLAN  
SCALE: 3/32"=1'-0"

Dedicated Space for City Department Approval Stamps

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231 N. WYCOMBE AVE. LANSDOWNE, PA 19050  
PHILADELPHIA PARKING AUTHORITY  
GENERAL CONSTRUCTION AT 6 E OREGON AVE  
PHILADELPHIA, PA 19141  
DWG: 225-214 DATE: 3-27-23  
**AS-BUILT/PROJECT  
RECORD DRAWINGS**



NO.	DATE	REVISIONS
1	5/4/22	FINAL REVIEW

DESIGN: EM  
DRAWN: EM  
CHECKED: AW  
SCALE: AS SHOWN  
DATE: 04/13/2022

DRAWING TITLE:

EMPLOYEE/VISITOR'S  
LOT PLAN

DRAWING NO.

A-003



**ASSOCIATES**

ENGINEERS & ARCHITECTS  
332 TOWNSHIP LINE ROAD  
BLUE BELT, PA 19422  
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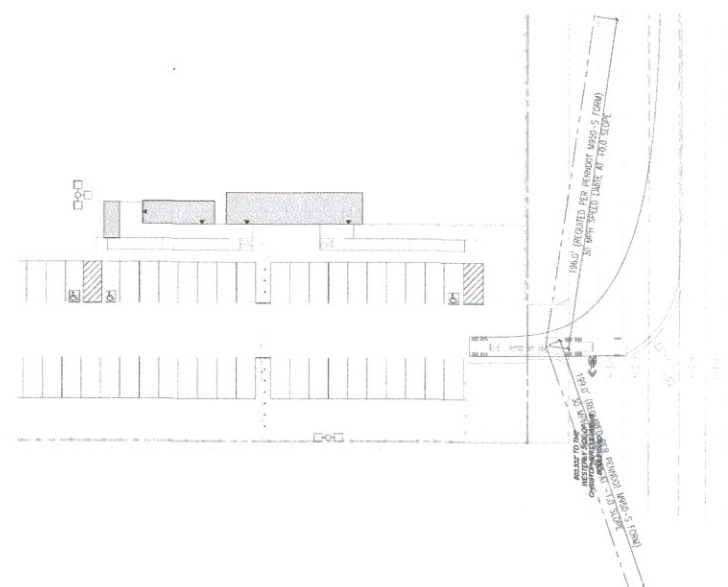
SEAL:

Philadelphia Parking Authority  
**General Construction at  
6 East Oregon Avenue**  
6 East Oregon Avenue, Philadelphia, PA

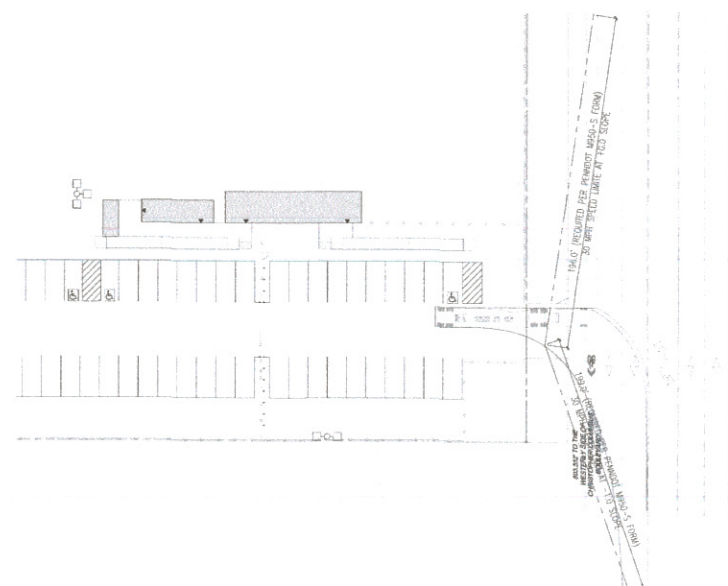
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CHECKED:	AW	
SCALE:	AS SHOWN	
DATE:	04/13/2022	
DRAWING TITLE:		
<b>VEHICLE TURNING PLAN</b>		

DRAWING No.

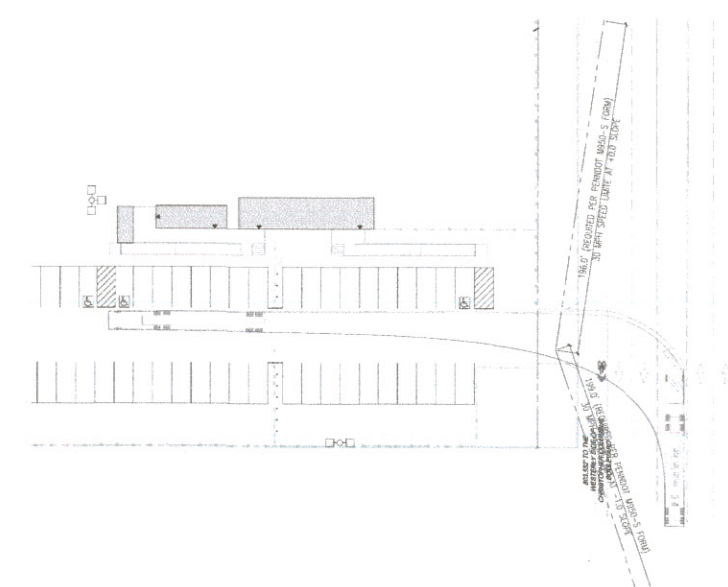
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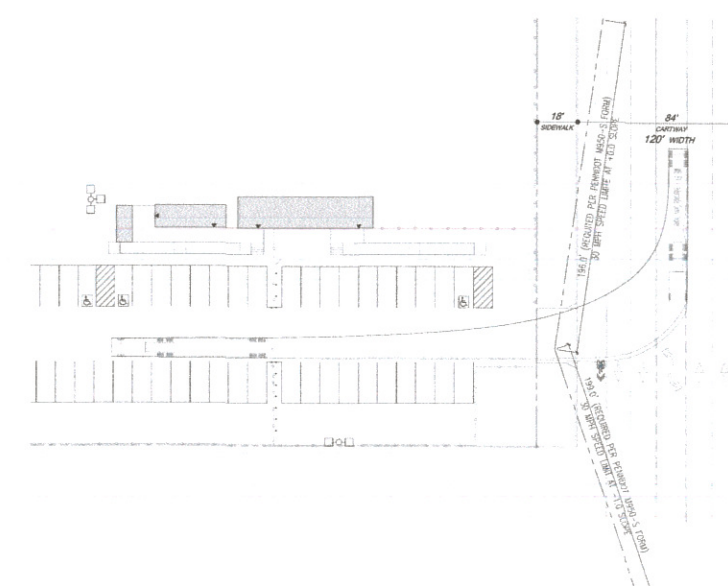
**4 INTERSTATE TRUCK (WB62) EXIT**  
SCALE: 1"=40'-0"



**3 INTERSTATE TRUCK (WB62) EXIT**  
SCALE: 1"=40'-0"



**2 INTERSTATE TRUCK (WB62) ENTRANCE**  
SCALE: 1"=40'-0"



**1 INTERSTATE TRUCK (WB62) ENTRANCE**  
SCALE: 1"=40'-0"

OREGON AVENUE (S.R. 2001)  
LEGALLY OPEN - ON CITY PLAN  
(120' WIDE)

**ROCKPORT CONSTRUCTION CO, INC.**  
231 N. WYCOMBE AVE. LANSDOWNE, PA 19050  
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DWG: 225-211 DATE: 3-27-23

**AS-BUILT/PROJECT  
RECORD DRAWINGS**

Dedicated Space for City Department Approval Stamps



**O&S ASSOCIATES**

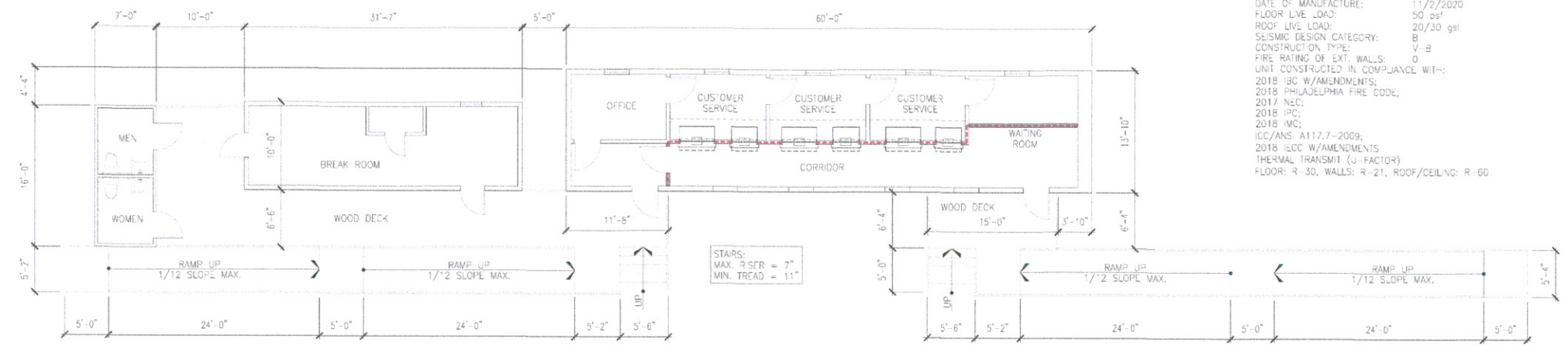
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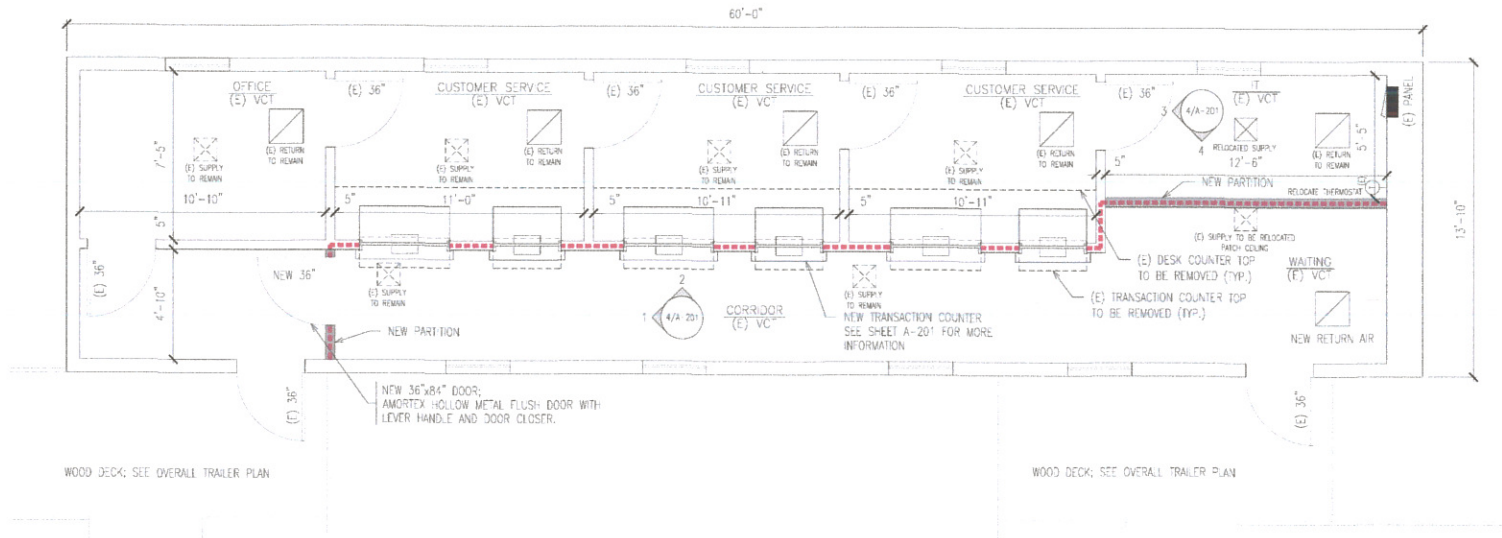
SEAL:

Philadelphia Parking Authority  
General Construction at  
6 East Oregon Avenue  
6 East Oregon Avenue, Philadelphia, PA

PRE-MANUFACTURED TRAILER  
DATE OF MANUFACTURE: 11/2/2020  
FLOOR LIVE LOAD: 50 psf  
ROOF LIVE LOAD: 20/30 gsf  
SEISMIC DESIGN CATEGORY: B  
CONSTRUCTION TYPE: V-B  
FIRE RATING OF EXT. WALLS: 0  
UNIT CONSTRUCTED IN COMPLIANCE WITH:  
2018 IBC W/AMENDMENTS;  
2018 PHILADELPHIA FIRE CODE;  
2017 NEC;  
2018 IPC;  
2018 IMC;  
ICC/ANS. A117.7-2009;  
2018 IECC W/AMENDMENTS  
THERMAL TRANSMIT (U-FACTOR)  
FLOOR: R-30, WALLS: R-21, ROOF/CEILING: R-60

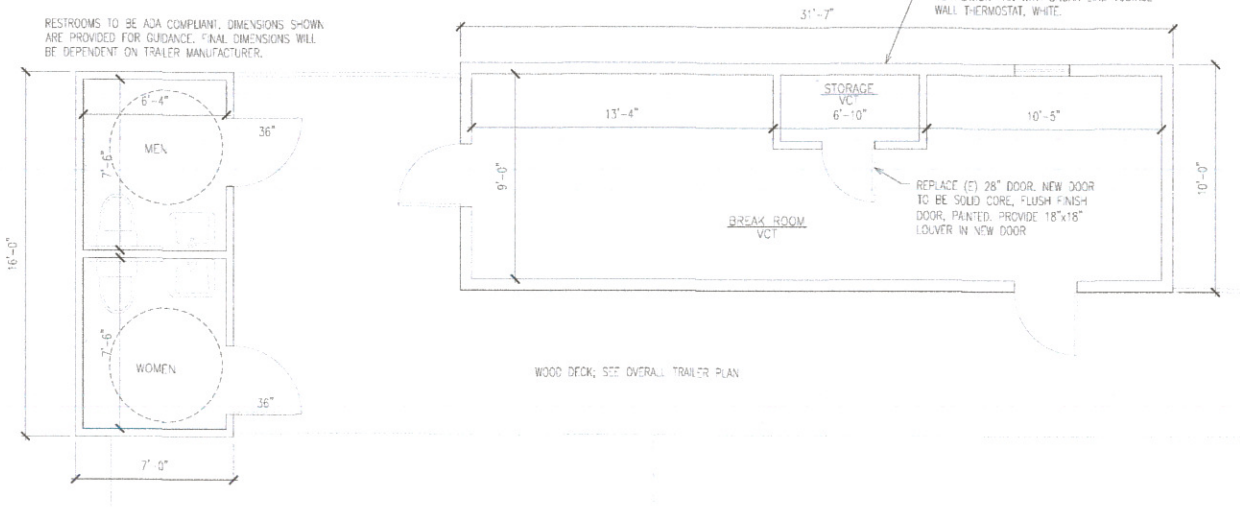


**3 OVERALL TRAILER PLAN**  
SCALE: 1/8"=1'-0"



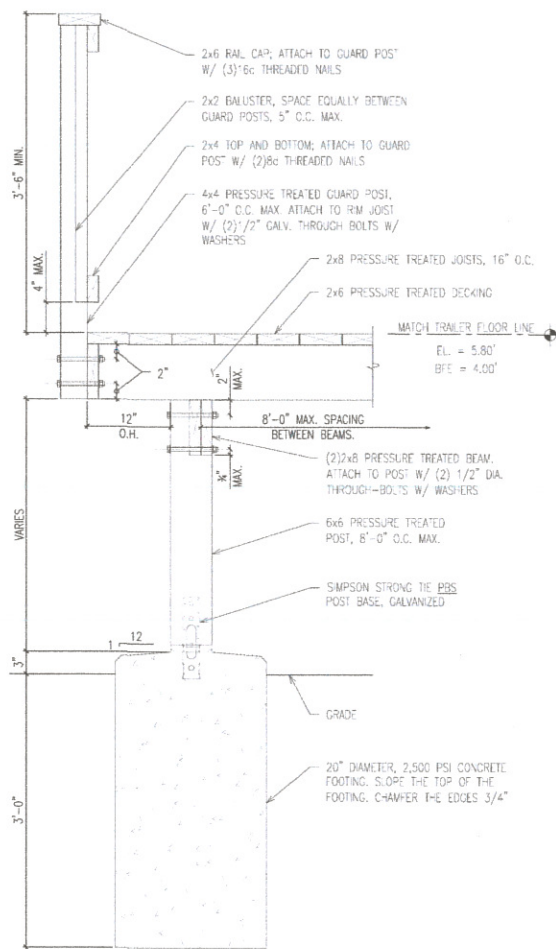
**2 TRAILER 1 PLAN**  
SCALE: 1/4"=1'-0"

NOTE:  
ALL EXTERIOR AND INTERIOR PARTITIONS  
ARE EXISTING UNLESS NOTED OTHERWISE

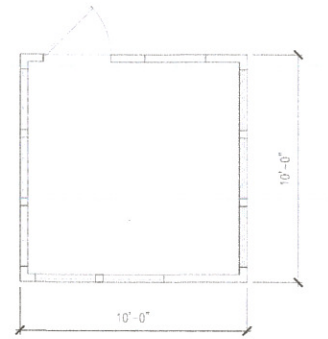


**1 TRAILER 2 & RESTROOM TRAILER PLAN**  
SCALE: 1/4"=1'-0"

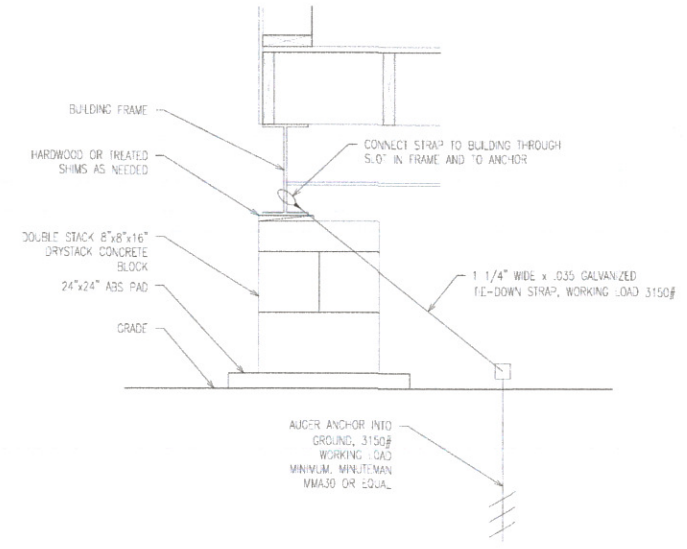
NOTE:  
ALL EXTERIOR AND INTERIOR PARTITIONS  
ARE EXISTING UNLESS NOTED OTHERWISE



**5 DECK DETAIL**  
SCALE: 1"=1'-0"



**6 GUARD BOOTH PLAN**  
SCALE: 1/4"=1'-0"



**4 ANCHOR DETAIL**  
SCALE: 1"=1'-0"

Dedicated Space for City Department Approval Stamps

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DWG: 225-27 DATE: 3-27-23  
**AS-BUILT/PROJECT RECORD DRAWINGS**

NO.	DATE	REVISIONS
1	5/4/22	FINAL REVIEW

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DRAWN: EM  
CHECKED: AW  
SCALE: AS SHOWN  
DATE: 04/13/2022  
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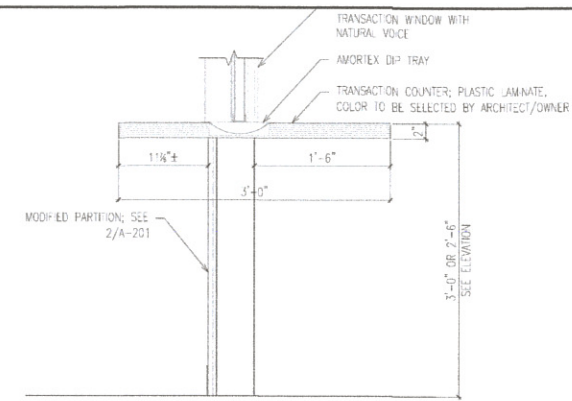
FLOOR PLANS

DRAWING NO. A-101

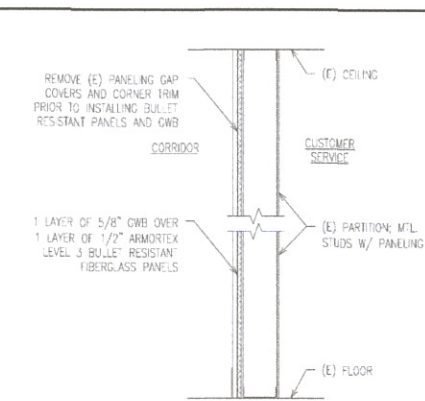


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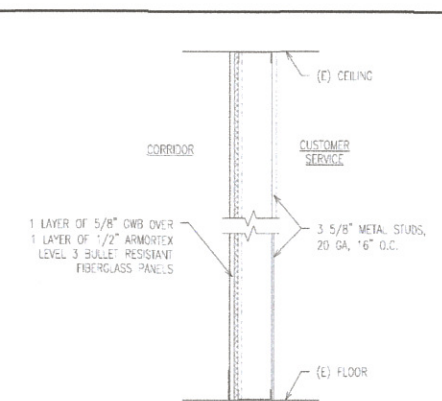
Philadelphia Parking Authority  
 General Construction at  
 6 East Oregon Avenue  
 6 East Oregon Avenue, Philadelphia, PA



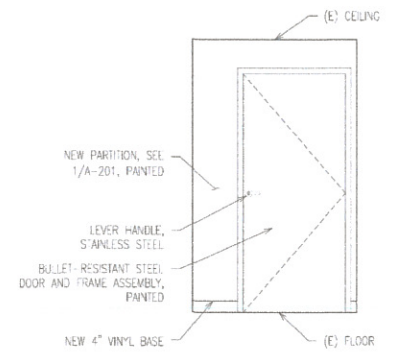
**3 CUSTOMER SERVICE COUNTER**  
 SCALE: 1"=1'-0"



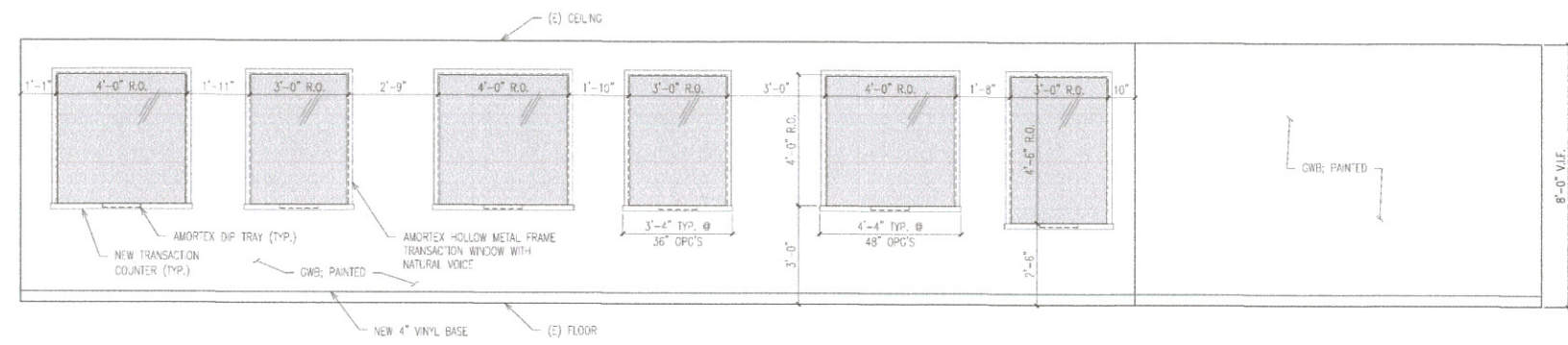
**2 EXISTING PARTITION MODIFICATION**  
 SCALE: 1"=1'-0"



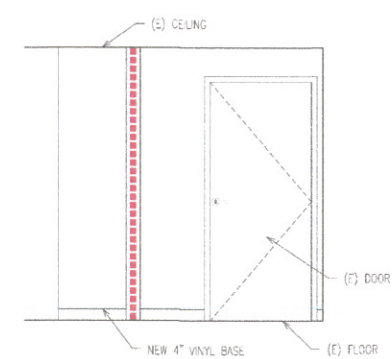
**1 NEW BULLET RESISTANT PARTITION**  
 SCALE: 1"=1'-0"



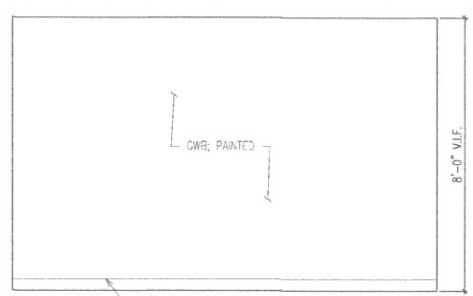
**ELEVATION #1**



**ELEVATION #2**



**ELEVATION #3**



**ELEVATION #4**

**4 INTERIOR ELEVATIONS**  
 SCALE: 3/8"=1'-0"

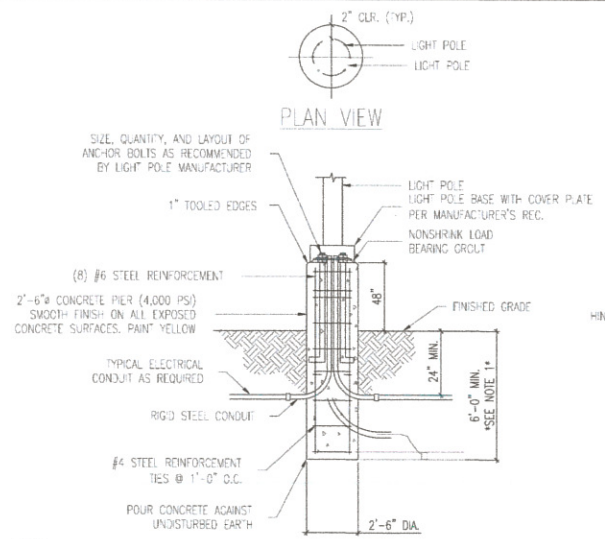
Dedicated Space for City Department Approval Stamps

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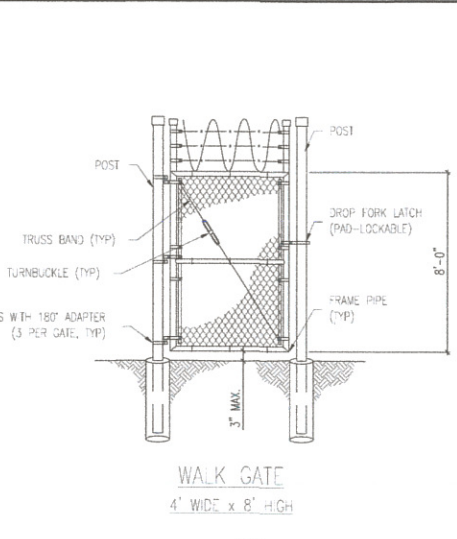
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 CHECKED: AW  
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 DATE: 04/13/2022  
 DRAWING TITLE:

INTERIOR ELEVATIONS AND DETAILS  
 DRAWING NO.  
**A-201**



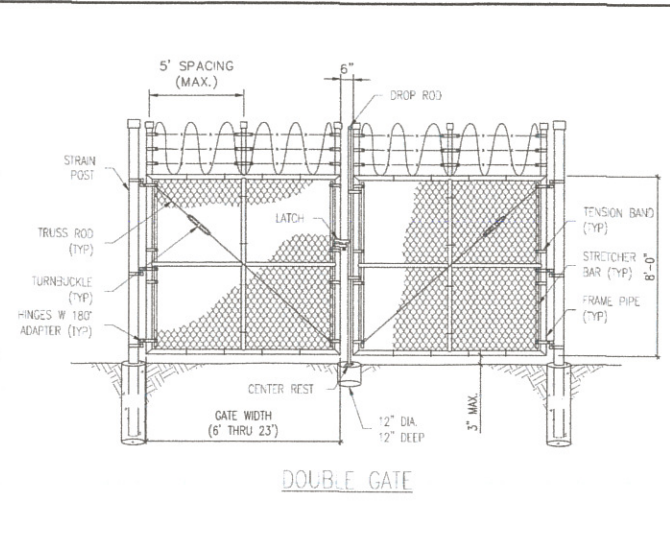
- NOTES:
- DEPTH OF FOUNDATION SHALL BE A MINIMUM OF 6'-0" BELOW FINISHED GRADE WHERE NORMAL CONDITIONS ARE PRESENT OR PER MANUFACTURER'S RECOMMENDATION (WHICHEVER IS GREATER).
  - CONTRACTOR SHALL DETERMINE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - LIGHT POLES WILL BE LOCATED IN COORDINATION WITH CLIENT AND CITY APPROVAL.

**1 LIGHT POLE FOUNDATION**  
SCALE: NTS

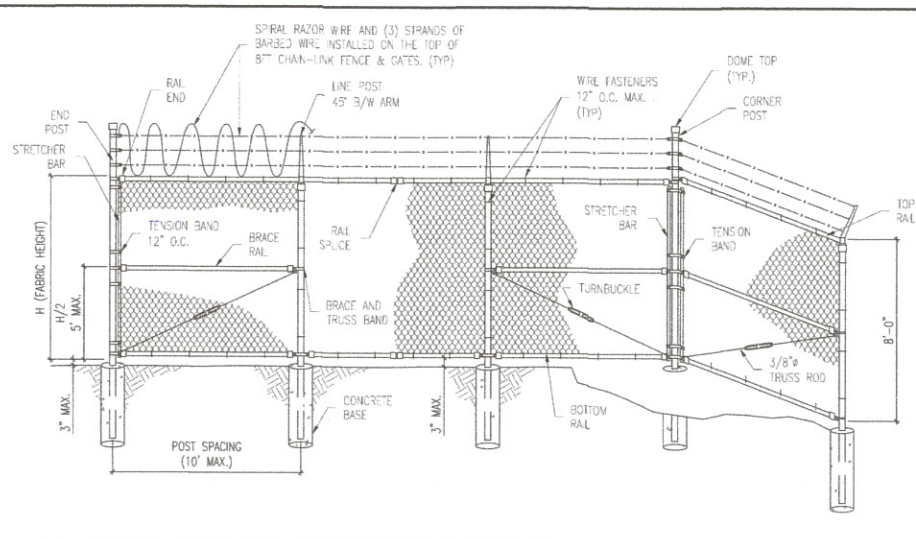


- NOTES:
- SEE CHAIN LINK FENCE DETAIL FOR ADDITIONAL NOTES AND SPECIFICATIONS.
  - GATE HINGE SHALL ALLOW GATES TO OPEN 180 DEGREES.
  - GATE SHALL CONTAIN THREE (3) HORIZONTAL RAILS (TOP, BOTTOM, AND MIDDLE) SPACED APPROXIMATELY FOUR FEET (4') APART.
  - GATE SHALL HAVE A DROP ROD/FORK LATCH WHICH IS CAPABLE OF BEING LOCKED BY A PAD LOCK.
  - CHAIN LINK FENCE FABRIC, RAILS, BANDS, BARS, RODS, AND OTHER FITTING HARDWARE SHALL CONFORM TO AASHTO M 181.

**2 GATE (CHAIN LINK)**  
SCALE: NTS



- NOTES:
- SEE CHAIN LINK FENCE DETAIL FOR ADDITIONAL NOTES AND SPECIFICATIONS.
  - GATE HINGE SHALL ALLOW GATES TO OPEN 180 DEGREES.
  - GATE SHALL CONTAIN THREE (3) HORIZONTAL RAILS (TOP, BOTTOM, AND MIDDLE) SPACED APPROXIMATELY FOUR FEET (4') APART.
  - GATE SHALL HAVE A DROP ROD/FORK LATCH WHICH IS CAPABLE OF BEING LOCKED BY A PAD LOCK.
  - CHAIN LINK FENCE FABRIC, RAILS, BANDS, BARS, RODS, AND OTHER FITTING HARDWARE SHALL CONFORM TO AASHTO M 181.



CONCRETE BASE		
FABRIC HEIGHT	DEPTH	DIA.
FEET	INCHES	
>6 THRU 10	60	18
END/CORNER POSTS	60	24

\*ALL POSTS 3 IN. CLEARANCE FROM BOTTOM OF CONCRETE BASE

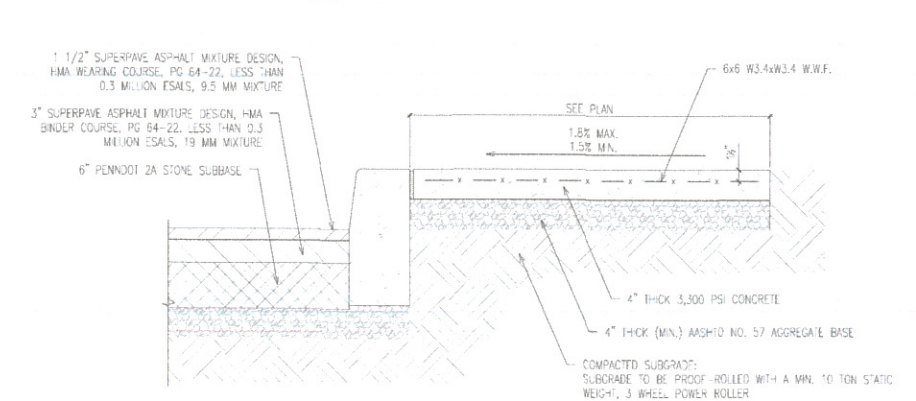
ROUND PIPE			
NOMINAL I.D.	O.D.	WALL THICK.	WEIGHT
INCHES			
1.25	1.660	0.140	2.27
1.50	1.900	0.145	2.72
2.00	2.375	0.154	3.65
2.50	2.875	0.203	5.79
3.00	3.500	0.216	7.58
3.50	4.000	0.226	9.11
4.00	4.500	0.237	10.79
5.00	5.563	0.258	14.62
6.00	6.625	0.280	18.97
8.00	8.625	0.322	28.55

ROLL-FORMED STEEL			
PART	SIZE	THICKNESS	WEIGHT
INCHES			
TOP AND BRACE RAILS	1.250 x 1.625	14	2.08
LINE POST (H = 3FT - 6FT)	1.875 x 1.625	12	2.75
LINE POST (H = >6FT - 8FT)	1.875 x 1.625	11	3.36
LINE POST (H = >8FT - 12FT)	2.250 x 1.625	11	4.02
END, CORNER, & LINE BRACE POSTS	3.50 x 3.50	10	7.59

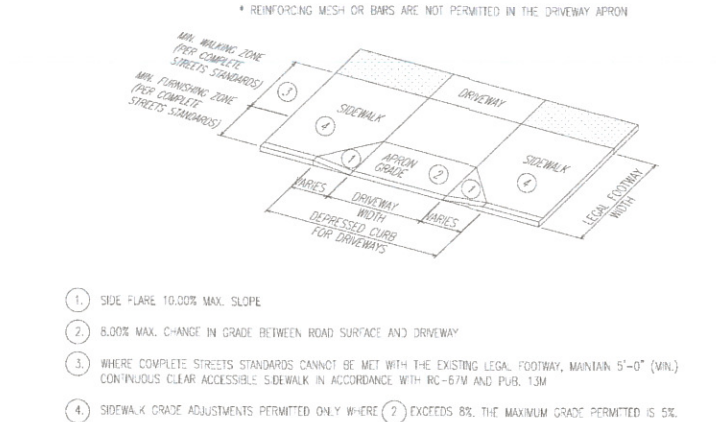
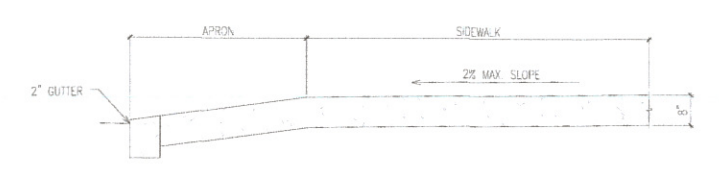
FENCE MATERIAL						
FABRIC HEIGHT	END, CORNER & LINE BRACE POSTS		LINE POSTS		TOP & BRACE RAILS	
	ROUND PIPE I.D.	ROLL-FORMED STEEL	ROUND PIPE I.D.	ROLL-FORMED STEEL	ROUND PIPE I.D.	ROLL-FORMED STEEL
FEET	INCHES		INCHES		INCHES	
3 THRU 6	2.5	3.5 x 3.5	1.5	1.875 x 1.625	1.25	1.25 x 1.625
>6 THRU 8	2.5	3.5 x 3.5	2.0	1.875 x 1.625	1.25	1.25 x 1.625
>8 THRU 12	2.5	3.5 x 3.5	2.0	1.875 x 1.625	1.25	1.25 x 1.625

- NOTES:
- HEIGHT OF FABRIC SHALL BE 8FT.
  - CHAIN LINK FENCE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M 181.
  - CHAIN LINK FABRIC SHALL BE 1" MESH, NO.9 GAUGE GALVANIZED SECURELY FASTENED TO LINE POSTS, RAILS, BRACES, AND STRETCHER BARS SPACED AS SHOWN HEREON. WIRES FASTENERS AND THE CLIPS SHALL BE NO. 11 GAUGE (W/M) ALUMINUM WIRE, AND HOG RINGS SHALL BE NO. 9 GAUGE, ALL IN CONFORMANCE WITH ASTM F 626.
  - ATTACH FABRIC TO ALL FENCE AND GATE STRUCTURES AT 12" INTERVALS VERTICALLY AND AT 12" HORIZONTALLY.
  - STEEL POSTS, RAILS, AND FRAMES SHALL CONFORM TO AASHTO M 181 TYPE 1, GRADE 1 OR GRADE 2.
  - TENSION WIRE SHALL BE CONTINUOUS BETWEEN END POST AND LINE BRACE POST. A TURNBUCKLE OR OTHER APPROVED TIGHTENING DEVICE SHALL BE USED FOR EACH CONTINUOUS SPAN OF TENSION WIRE.
  - TENSION WIRE SHALL BE AS SPECIFIED IN AASHTO M 181.
  - CONCRETE FOOTINGS SHALL HAVE TOPS CROWNED AT GROUND LEVEL AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. ALL CONCRETE SHALL HAVE A MINIMUM WATER/CEMENT (W/C) RATIO OF 0.40 AND SHALL HAVE 10% ENTRAINED AIR.
  - CHAIN LINK FABRIC SHALL BE KNUCKLED AT THE TOP AND BOTTOM SAVAGES.
  - FENCE SHALL BE CONSTRUCTED WITH EITHER ROUND PIPE OR ROLL-FORMED STEEL COMPONENTS.
  - BRACE RAIL WILL NOT BE REQUIRED FOR 36", 42", OR 48" FABRIC HEIGHTS. BRACE RAIL FOR FENCE WITH ROLL-FORMED STEEL ELEMENTS IS 12" BELOW THE TOP RAIL.
  - FINISH (WESH, POSTS, AND RAIL): GALVANIZED.

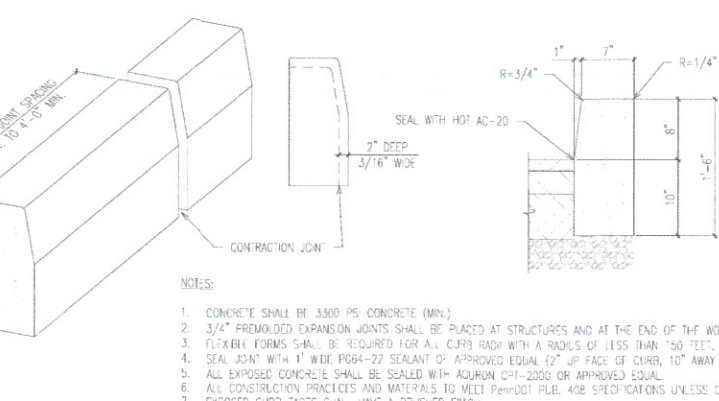
**3 FENCE (CHAIN LINK)**  
SCALE: NTS



**2 SIDEWALK, & CURB ADJACENT TO PAVING**  
SCALE: NTS



**2 STANDARD DRIVEWAY**  
SCALE: NTS



**2 CURB DETAIL**  
SCALE: NTS

**ROCKPORT CONSTRUCTION CO, INC.**  
231 N. WYCOMBE AVE. LANSDOWNE, PA 19050  
**PHILADELPHIA PARKING AUTHORITY**  
GENERAL CONSTRUCTION AT 6 E OREGON AVE  
PHILADELPHIA, PA 19141  
DWG: 225-212 DATE: 3-27-23  
**AS-BUILT/PROJECT RECORD DRAWINGS**

**2 CONCRETE SIDEWALK**  
SCALE: NTS



SEAL:

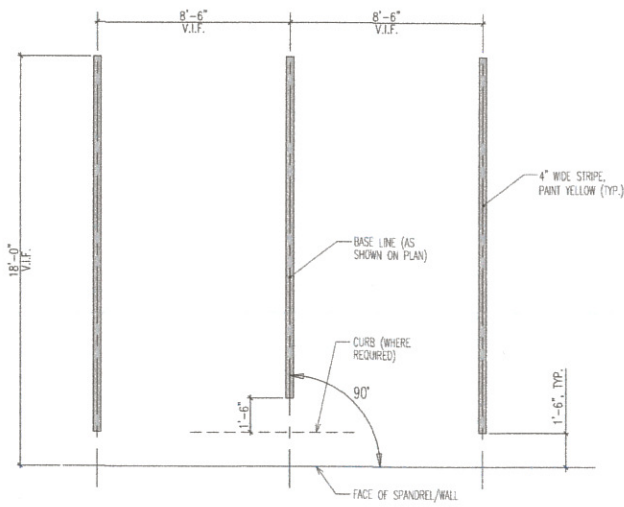
Philadelphia Parking Authority  
**General Construction at**  
**6 East Oregon Avenue**  
6 East Oregon Avenue, Philadelphia, PA

NO.	DATE	REVISIONS
1	5/4/22	FINAL REVIEW

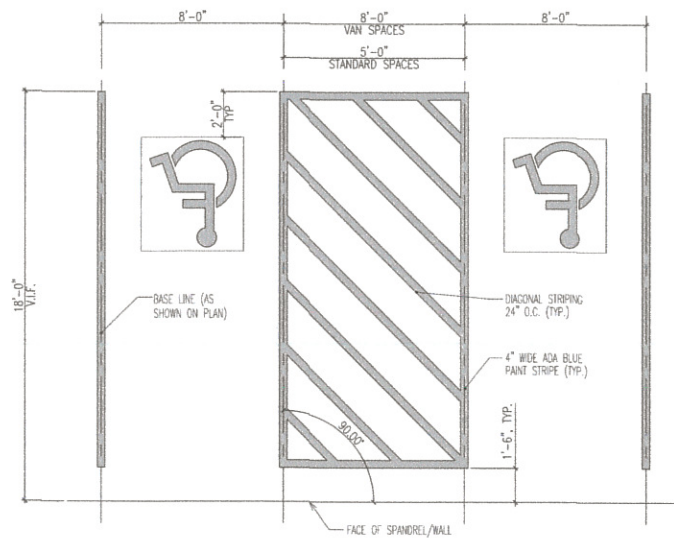
DESIGN: EM  
DRAWN: EM  
CHECKED: AW  
SCALE: AS SHOWN  
DATE: 04/13/2022

DRAWING TITLE:  
**FENCE & SIDEWALK DETAILS**

DRAWING No.  
**A-301**

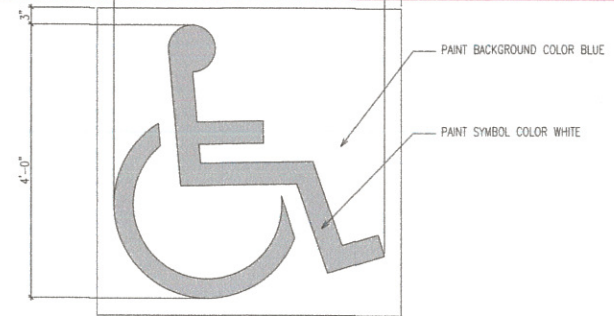


1 TYPICAL 90° STALL STRIPING  
SCALE: 1/4"=1'-0"



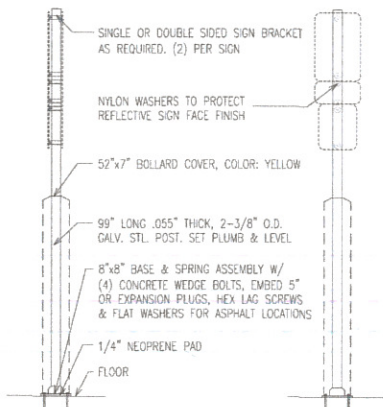
2 ADA ACCESSIBLE STALLS - STANDARD AND VAN  
SCALE: 1/4"=1'-0"

ROCKPORT CONSTRUCTION CO, INC.  
231 N. WYCOMBE AVE. LANSDOWNE, PA 19050  
PHILADELPHIA PARKING AUTHORITY  
GENERAL CONSTRUCTION AT 6 E OREGON AVE  
PHILADELPHIA, PA 19141  
DWG: 225-22 DATE: 3-27-23  
**AS-BUILT/PROJECT  
RECORD DRAWINGS**



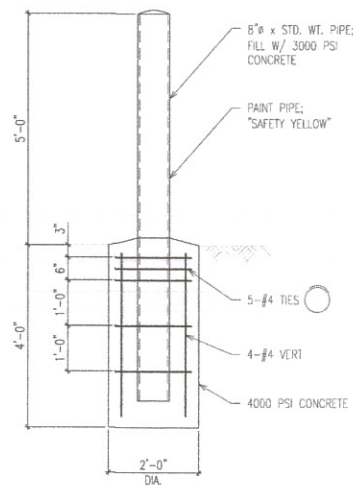
NOTES:  
1. CONTRACTOR SHALL CONFIRM SYMBOL MEETS CURRENT ADA REQUIREMENTS FOR LOCAL AUTHORITY HAVING JURISDICTION  
2. CENTER IN STALL WIDTH AND LOCATE 2'-0" FROM THE END OF THE STALL

3 ACCESSIBLE SYMBOL DETAIL  
SCALE: 3/4"=1'-0"

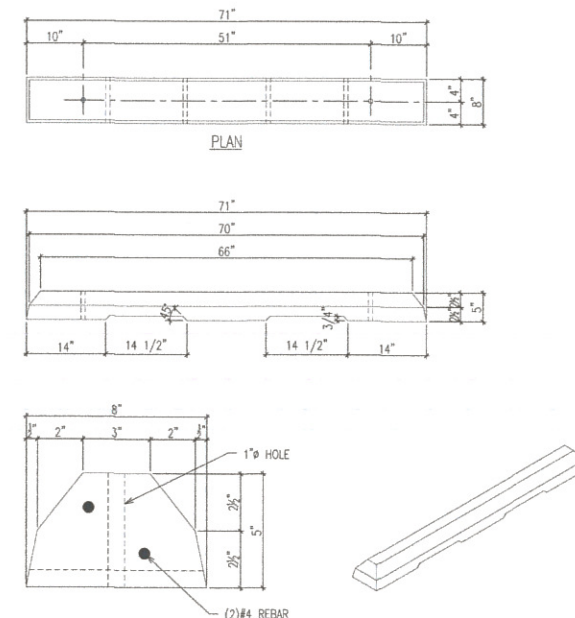


NOTES:  
1. PROVIDE FLEXPOST-XL W/ BOLLARD COVER  
2. INSTALL PER MANUFACTURER'S INSTRUCTIONS  
3. SIGN STYLE AND TYPE ARE TO BE SELECTED BY OWNER

4 FLEXIBLE SIGN POST  
SCALE: 1/2"=1'-0"



5 BOLLARD DETAIL  
SCALE: 1/2"=1'-0"



NOTES:  
1. 5500 PSI, AIR ENTRAINED CONCRETE  
2. APPROXIMATELY 185lbs EACH  
3. ATTACH TO ASPHALT WITH #5 REBAR x 18" LONG SPIKES

6 WHEEL STOP DETAIL  
SCALE: 1/2"=1'-0"



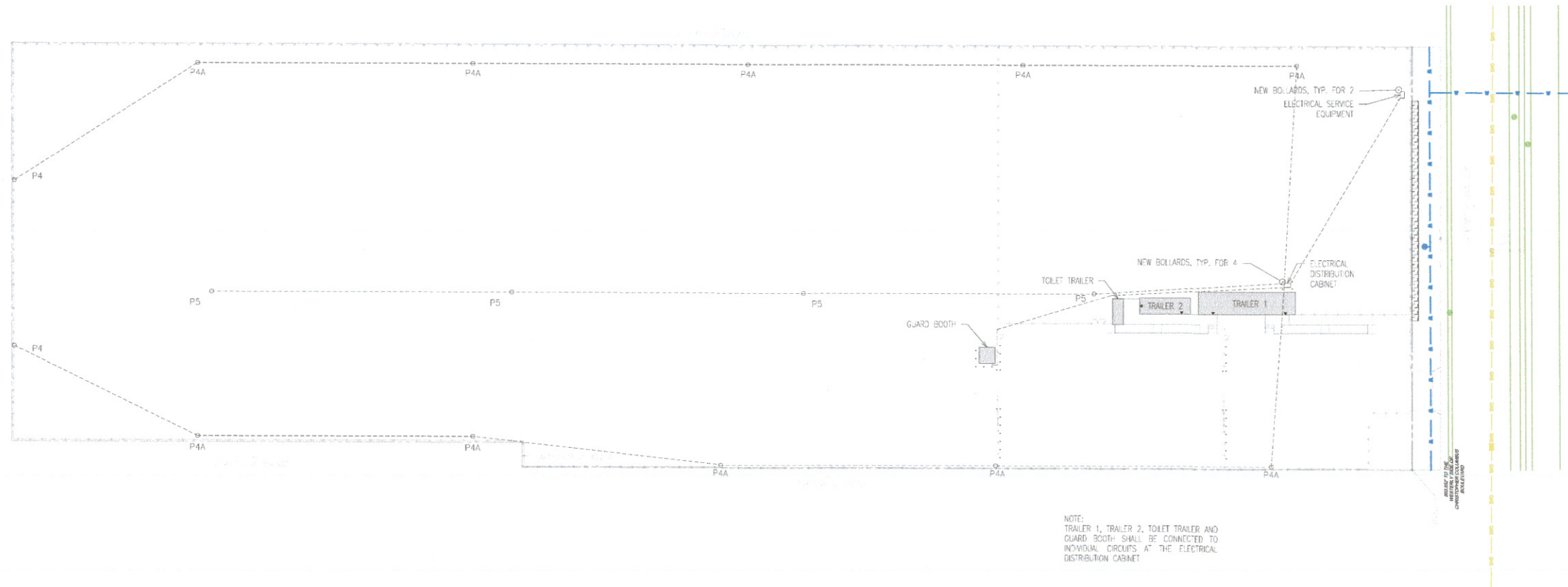
SEAL:

Philadelphia Parking Authority  
General Construction at  
6 East Oregon Avenue  
Philadelphia, PA  
6 East Oregon Avenue, Philadelphia, PA

NO.	DATE	REVISIONS
1	5/4/22	FINAL REVIEW
		DESIGN: EM
		DRAWN: EM
		CHECKED: AW
		SCALE: AS SHOWN
		DATE: 04/13/2022

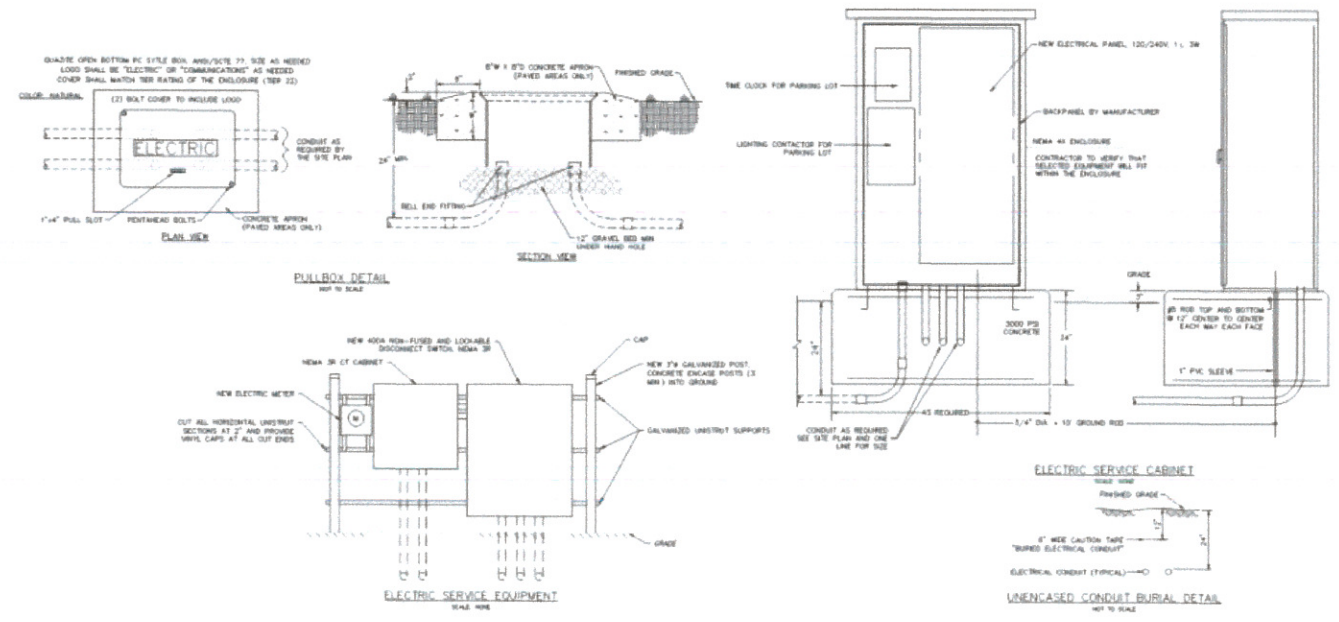
DRAWING TITLE:  
LINE STRIPING  
DETAILS

DRAWING NO.  
A-302

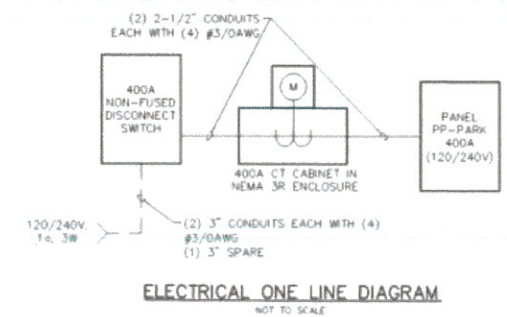


1 SITE ELECTRICAL PLAN  
SCALE: 1"=40'-0"

# WORK PERFORMED BY ELECTRICAL PRIME CONTRACTOR



LOCATION ENCLOSURE		22 K&C				MFG. SQUARE "D" CO. MOUNT SURFACE			
PANEL	PP-PARK	120/240 VOLTS	1 PHASE	3 WIRE	400 AMP	MAINS	400A MAIN		
1	(2) P5 FIXTURES	SEE SITE PLAN	20/2	3.55	2.96	20/2	SEE SITE PLAN	(2) P4A & (1) P4 FIXTURES	2
3									4
5	(2) P5 FIXTURES	SEE SITE PLAN	20/2	3.55	2.37	20/2	SEE SITE PLAN	(2) P4A FIXTURES	6
7									8
9	(FUTURE BUILDING)	SEE SITE PLAN	200/2	-	3.55	20/2	SEE SITE PLAN	(3) P4A FIXTURES	10
11									12
13	TIME CLOCKS	2#12, #12G	20/1	0.01	-	2.37	20/2	SEE SITE PLAN	(2) P4A FIXTURES
15	SPARE	-	20/1	-	-	-	-	-	14
17	SPARE	-	-	-	-	-	-	-	16
19	SPACE	-	20/2	-	1.78	20/2	SEE SITE PLAN	(1) P4A & (1) P4 FIXTURES	18
21	SPACE	-	-	-	-	-	-	-	20
23	SPACE	-	-	-	-	-	-	-	22
25	SPACE	-	-	-	-	-	-	-	24
27	SPACE	-	-	-	-	-	-	-	26
29	SPACE	-	-	-	-	-	-	-	28
									30
					7.11	13.03		20.14 KVA = 64 A	

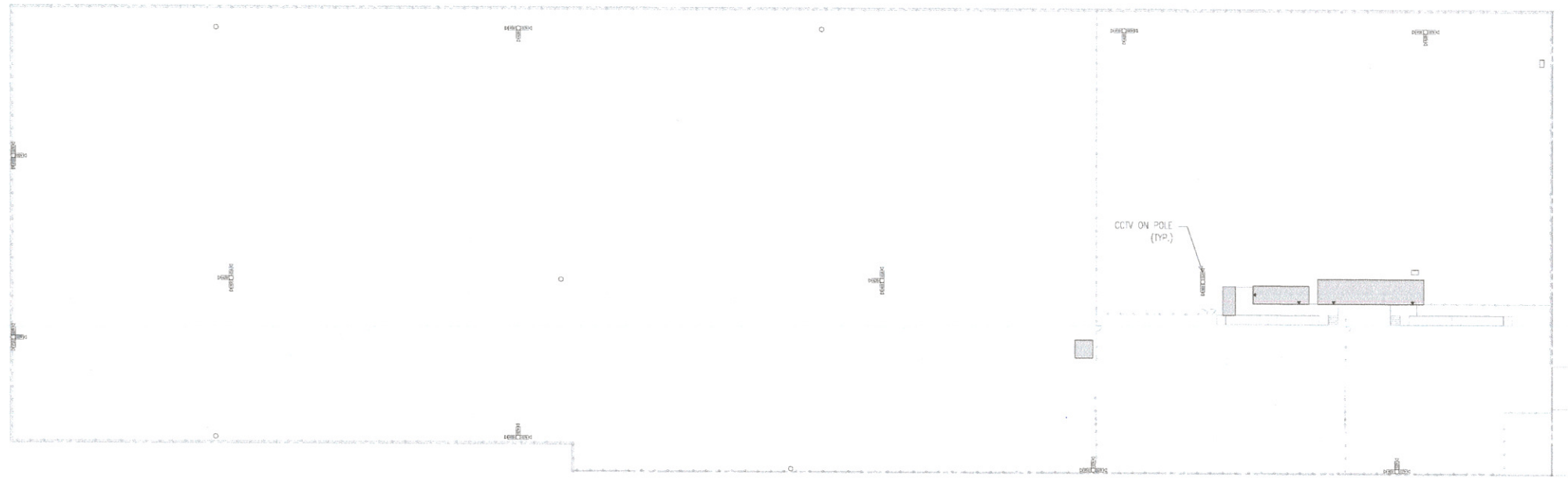


NO.	DATE	REVISIONS
1	5/4/22	FINAL REVIEW

DESIGN: EM  
DRAWN: EM  
CHECKED: AW  
SCALE: AS SHOWN  
DATE: 04/13/2022

DRAWING TITLE:  
**ELECTRICAL SITE PLAN**

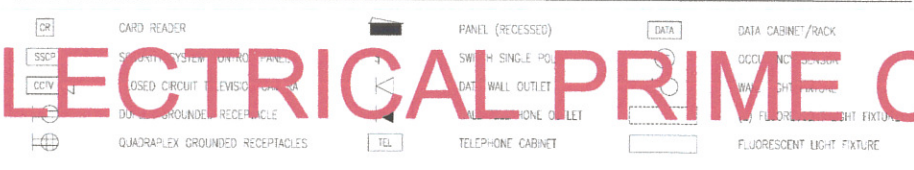
DRAWING NO.:  
**E-101**



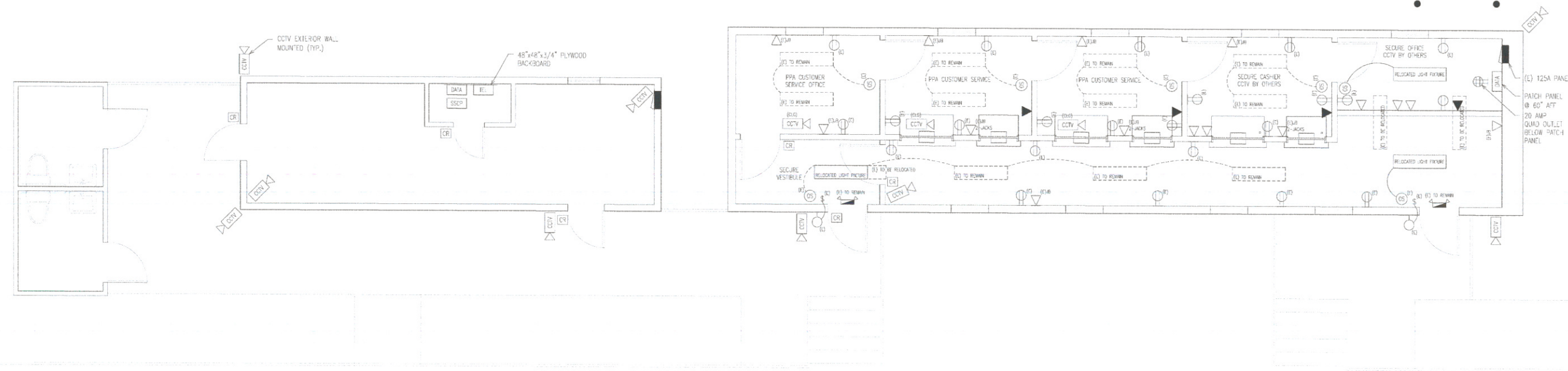
1 SITE CCTV PLAN  
SCALE: 1"=40'-0"

- NOTES:**
1. PROVIDE ALL NECESSARY BREAKERS, CONDUCTORS, CONDUITS, BOXES, CONNECTORS, FITTINGS, HANGARS, LABELS, AND ACCESSORIES AS REQUIRED FOR A COMPLETE INSTALLATION AS SHOWN.
  2. SURVEY EXISTING CIRCUITS TO DETERMINE WHICH FIXTURES ARE CONNECTED TO EACH EXISTING BREAKER.
  3. PROVIDE AND INSTALL NEW QUAD AND DUPLEX RECEPTACLES WITH FACEPLATES AS SHOWN. CONNECT TO NEW AND EXISTING CIRCUITS. COLOR: WHITE.
  4. PROVIDE AND INSTALL CATEGORY 6 CABLEING SYSTEM COMPLETE WITH JUNCTION BOXES (AT NEW LOCATIONS), RJ11 JACKS AND FACEPLATES WIRED TO PATCH PANEL RACK AT LOCATIONS SHOWN. MOUNT NEW JACKS AT 18" ABOVE FINISH FLOOR. COLOR: WHITE.
  5. PROVIDE AND INSTALL TELEPHONE CABLEING SYSTEM COMPLETE WITH JUNCTION BOXES (AT NEW LOCATIONS), RJ45 JACKS, AND FACEPLATES WIRED TO PATCH PANEL RACK AT LOCATIONS SHOWN. MOUNT NEW JACKS AT 18" ABOVE FINISH FLOOR. COLOR: WHITE.
  6. PROVIDE AND INSTALL NEW SINGLE-POLE OCCUPANCY SENSOR LIGHT SWITCHES AS SHOWN. MOUNT NEW SWITCHES NO MORE THAN 48" ABOVE FINISH FLOOR.
  7. ALL CONTROL WIRING AND POWER WIRING SHALL BE IN CONDUIT OR MC CABLE AS FOLLOWS:
    - 7.1. WIRE AND CABLES FOR FEEDER AND BRANCH CIRCUITS SHALL BE ANNEALED SINGLE OR STRANDED COPPER CONDUCTORS WITH CONDUCTIVITY OF NOT LESS THAN 98% AT 20 DEGREES CELSIUS. WIRE AND CABLE SHALL BEAR THE UL LABEL. MINIMUM WIRE SIZE SHALL BE #12 AWG FOR BRANCH CIRCUITS AND #16 AWG FOR CONTROL AND INTERLOCK WIRING. RATING SHALL BE 600 VOLTS, 90 DEGREE CELSIUS. ALL CIRCUITS SHALL HAVE DEDICATED NEUTRALS AND GROUNDS.
    - 7.2. ELECTRICAL BOXES AND FITTINGS SHALL BE PROVIDED AS REQUIRED FOR THE WORK INDICATED. OUTLET BOXES SHALL BE CONSTRUCTED OF GALVANIZED FLAT ROLLED SHEET STEEL OF SHAPES AND SIZES SUITABLE FOR INSTALLATION OF WIRING DEVICES. OUTLET BOX ACCESSORIES SHALL BE PROVIDED AS REQUIRED FOR EACH INSTALLATION. BOXES SHALL BE CONSTRUCTION IN ACCORDANCE WITH NEMA AND J.I.C. STANDARDS. NO ELECTRICAL DEVICES ARE TO BE LOCATED BACK TO BACK IN THE SAME STUD CHASE.
    - 7.3. WIRING DEVICES SHALL INCLUDE RECEPTACLES (OUTLETS), SWITCHES AND WALL PLATES. GENERAL PURPOSE DUPLEX RECEPTACLES SHALL BE HEAVY-DUTY, SPECIFICATION GRADE, 2-POLE, 3-WIRE, GROUNDING TYPE, RATED 20 AMPERES, 125 VOLTS, NEMA CONFIGURATION 5-20R FOR GENERAL PURPOSE USE. SWITCHES SHALL BE SINGLE-POLE AND THREE-WAY TOGGLE, HEAVY-DUTY, SPECIFICATION GRADE, QUIET TYPE, RATED 20 AMPERES, 120 VOLTS, 60 HERTS. WALL PLATES SHALL MATCH EXISTING.
    - 7.4. GROUNDING SHALL BE A COMPLETELY INTERCONNECTED SYSTEMS OF GROUNDING, INCLUDING TYPING TO EXISTING TRAILER GROUND SYSTEMS AND EQUIPMENT "GREEN WIRE" PERSONNEL SAFETY GROUND THROUGHOUT AND MUST COMPLY WITH NEC ARTICLE 250. ELECTRICAL CONTRACTOR SHALL PROVIDE NECESSARY CABLES, JUMPERS, ETC. TO INSURE A CONTINUOUS GROUNDING SYSTEM.
  8. IDENTIFICATION OF EQUIPMENT:
    - 8.1. ALL EQUIPMENT SHALL HAVE, SECURELY ATTACHED, MANUFACTURER'S NAMEPLATE GIVING COMPLETE DATA AS TO DESIGN AND OPERATING CHARACTERISTICS. NAMEPLATES SHALL NOT BE COVERED OR OTHERWISE OBSCURED.
    - 8.2. EQUIPMENT LABELS SHALL BE OF TYPE SUITABLE FOR INTERIOR AND EXTERIOR CONDITIONS.
    - 8.3. AFFIX PRINTED LABELS WITH PANEL NAME AND CIRCUIT NUMBER ONTO ALL RECEPTACLES.
  9. OPERATING AND MAINTENANCE MANUALS:
    - 9.1. UPON COMPLETION OF THE INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL FURNISH THREE COPIES OF PRINTED INSTRUCTIONS TO THE OWNER COVERING, IN DETAIL, ALL REQUIRED INSTRUCTIONS FOR THE OPERATION OF THE ELECTRICAL SYSTEM, AND SHALL INSTRUCT THE OWNER'S OPERATION PERSONNEL IN THE MAINTENANCE AND OPERATION OF EACH AND EVERY SYSTEM.
  10. WARRANTY:
    - 10.1. CONTRACTOR SHALL WARRANT ALL ELECTRICAL WORK AND MATERIALS FOR TWO YEARS FROM DATE OF SUBSTANTIAL COMPLETION.
    - 10.2. EQUIPMENT SHALL CARRY MANUFACTURER'S FULL WARRANTIES. ALL EQUIPMENT WARRANTY WORK OR REPLACEMENTS SHALL BE DONE BY CONTRACTOR AT NO COST TO THE OWNER.
  11. RECORD DRAWINGS:
    - 11.1. KEEP AN ACCURATE RECORD OF ALL DEVIATIONS IN WORK AS ACTUALLY INSTALLED FROM WORKING INDICATED.
    - 11.2. CONTRACTOR SHALL KEEP EXTRA DRAWINGS AT THE JOB SITE USED SOLELY FOR MARKING-UP TO RECORD THE WORK, OR DEVIATIONS IN THE WORK, ON A DAILY BASIS.

**SYMBOL LEGEND**



**WORK PERFORMED BY ELECTRICAL PRIME CONTRACTOR**



2 TRAILER ELECTRICAL/DATA/SECURITY PLAN  
SCALE: 1/4"=1'-0"

**O&S ASSOCIATES**  
ENGINEERS & ARCHITECTS  
532 TOWNSHIP LINE ROAD  
BLUE BELT, PA 19422  
610.628.9400  
NEW JERSEY • NEW YORK • PHILADELPHIA  
COLUMBUS • D.C. • MIAMI

**PHILADELPHIA Parking Authority**

SEAL:

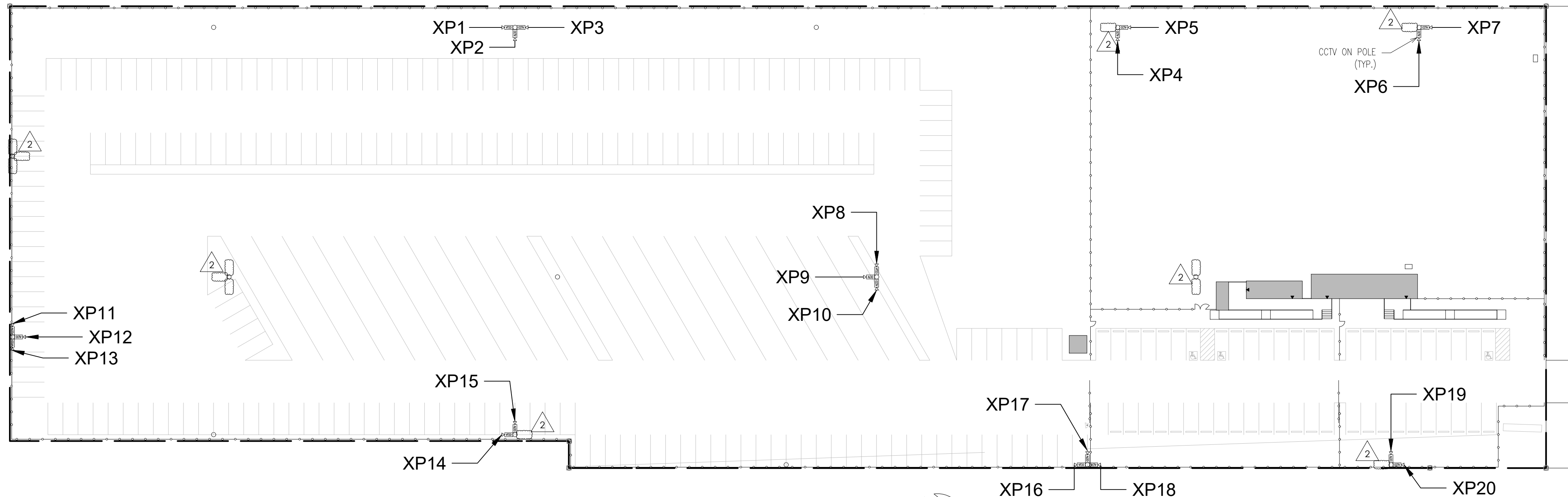
Philadelphia Parking Authority  
General Construction at  
6 East Oregon Avenue  
6 East Oregon Avenue, Philadelphia, PA

NO.	DATE	REVISIONS
1	5/4/22	FINAL REVIEW
DESIGN:	EM	
DRAWN:	EM	
CHECKED:	AW	
SCALE:	AS SHOWN	
DATE:	04/13/2022	

DRAWING TITLE:  
**SECURITY PLAN**

DRAWING No.  
**E-102**



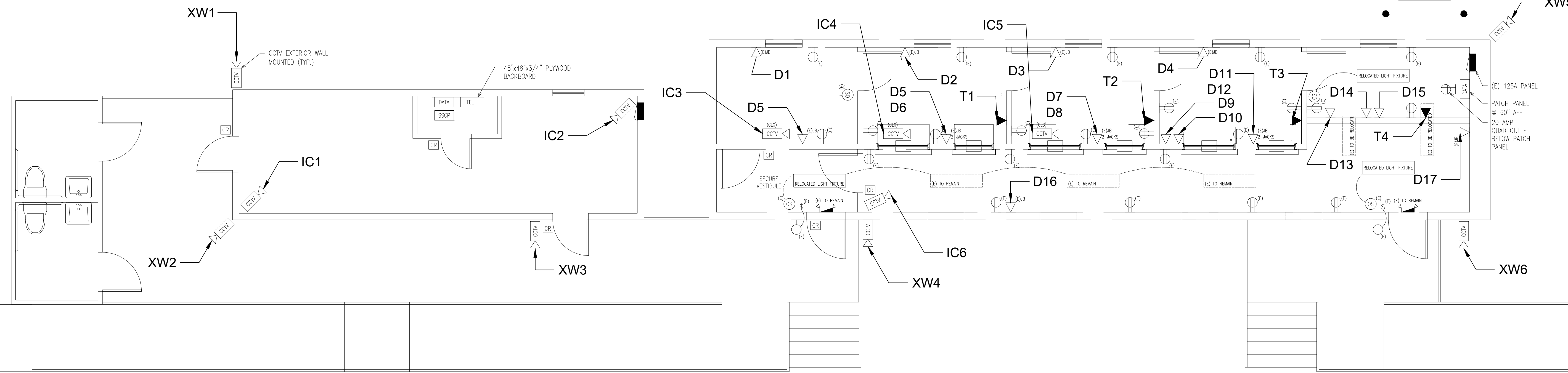


1 SITE CCTV PLAN  
SCALE: 1"=40'-0"

- NOTES:
1. PROVIDE ALL NECESSARY BREAKERS, CONDUITS, BOXES, CONNECTORS, FITTINGS, HANGARS, LABELS, AND ACCESSORIES AS REQUIRED FOR A COMPLETE INSTALLATION AS SHOWN.
  2. SURVEY EXISTING CIRCUITS TO DETERMINE WHICH FIXTURES ARE CONNECTED TO EACH EXISTING BREAKER.
  3. PROVIDE AND INSTALL NEW QUAD AND DUPLEX RECEPTACLES WITH FACEPLATES AS SHOWN. CONNECT TO NEW AND EXISTING CIRCUITS. COLOR: WHITE.
  4. PROVIDE AND INSTALL CATEGORY 6 CABLING SYSTEM COMPLETE WITH JUNCTION BOXES (AT NEW LOCATIONS), RJ11 JACKS AND FACEPLATES WIRED TO PATCH PANEL RACK AT LOCATIONS SHOWN. MOUNT NEW JACKS AT 18" ABOVE FINISH FLOOR. COLOR: WHITE.
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  7. ALL CONTROL WIRING AND POWER WIRING SHALL BE IN CONDUIT OR MC CABLE AS FOLLOWS:
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SYMBOL LEGEND

CARD READER	PANEL (RECESSED)	DATA CABINET/RACK
SECURITY SYSTEM CONTROL PANEL	SWITCH SINGLE POLE	OCCUPANCY SENSOR
CLOSED CIRCUIT TELEVISION CAMERA	DATA WALL OUTLET	WALL LIGHT FIXTURE
DUPLEX GROUNDED RECEPTACLE	WALL TELEPHONE OUTLET	(E) FLUORESCENT LIGHT FIXTURE
QUADRUPLEX GROUNDED RECEPTACLES	TELEPHONE CABINET	FLUORESCENT LIGHT FIXTURE



2 TRAILER ELECTRICAL/DATA/SECURITY PLAN  
SCALE: 1/4"=1'-0"

SEAL:

Philadelphia Parking Authority  
General Construction at  
6 East Oregon Avenue, Philadelphia, PA

3	5/5/23	As-Built
2	7/8/22	DELETE 12 CAMERAS
1	5/4/22	FINAL REVIEW

NO.	DATE	REVISIONS
DESIGN:		
DRAWN:		
CHECKED:		
SCALE:	AS SHOWN	
DATE:	04/13/2022	

DRAWING TITLE:  
SECURITY PLAN

DRAWING No.  
E-102