

The Philadelphia Parking Authority
701 Market Street, Suite 5400
Philadelphia, PA 19106

Bid No. 25-15
Old City Garage Cosmetic Restoration
Addendum One

To: See Email Distribution List

From: Shannon Stewart
Manager of Contract Administration

Date: May 28, 2025

No Pages: 2 plus Appendix A-D

This addendum is issued on May 28, 2025, prior to the bid due date to add, delete, modify, clarify and/or to respond to questions submitted by eligible Bidders regarding the work included in the above referenced solicitation.

CHANGES TO THE BID DOCUMENTS

1. **Section 00 41 11 Bid Form – Contract 1: General Construction:** Article 2.2.1 has been revised, W.I. 8.01 - Curtain Wall Cover Strip Replacement and W.I. ALT-02 - Tile Wall at Ground Level Painting (Approx. 1,650 SF) have been added. Please see revisions in bold in Appendix A of this addendum.
2. **Section 09 91 00 Interior Painting Article 3.6:** Interior paint basis of design and schedule has been revised. Please see revisions in bold in Appendix B of this addendum.
3. **Section 09 91 13 Exterior Painting Article 3.6:** Exterior paint basis of design, installation procedures, field quality control, warranty, and schedule has been revised. Please see revisions in bold in Appendix C of this addendum.
4. **Construction Drawings:** The construction drawings have been updated and reissued. Please see updates within the revision clouds in Appendix D of this addendum.

QUESTIONS

1. **Question: Shannon, what's your email?**

Response: Shannon Stewart's email address is Sstewart@philapark.org and can be found in the bid documents.

2. **Question: With the electrical work and fire alarm, there's some for the mechanical units, I believe, and then there's some for lighting in there. Is it under the GC for the mechanical portion as well or is each responsible for their own?**

Response: Any utilities that need to be temporarily removed, relocated, or are disturbed during the General Contractor's work for the soffit replacement will be the responsibility of the General Contractor. Any associated work to facilities and the heater replacement will be the responsibility of the Mechanical Contractor's scope. This includes but is not limited to electrical and fire alarm disconnections and reconnections.

3. **Question: For the soffit, we have the soffit and lighting, the fire alarm. Then we'll have units that have the fire alarm tied into them and the power connected to them.**

Response: See response to question 2.

4. **Question:** But even the stuff for the units as well for the HVAC? Is that under the mechanical contract or the GC?

Response: See response to question 2.

5. **Question:** So, the power and the fire alarm to them is mechanical responsible for them or is it GC?

Response: See response to question 2.

6. **Question:** What about the smoke alarm and fire?

Response: See response to question 2.

7. **Question:** For the smoke alarm and tie-in for the unit?

Response: See response to question 2.

END OF ADDENDUM ONE

Bid No. 25-15 Addendum #1 - Appendix A
Revised Section 00 41 11 Bid Form – Contract 1:
General Construction

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

SECTION 00 41 00
BID FORM CHECKLIST
ADDENDUM #1

The following Proposal is hereby made as a "Stipulated Sum Bid No **25-15**" from:

(Bidder)

(Address)

(City, State, Zip)

(Contact Person)(Phone Number) (Email)

SUBMISSION REQUIREMENTS

Items are to be submitted with Bid in the following order:

**Initial each
required
entry**

<input type="checkbox"/>	Bid Form – Fully executed – Section 00 41 00. Twenty-two (22) pages including this cover.	
<input type="checkbox"/>	List of Subcontractors and Material Suppliers – Section 00 43 36	
<input type="checkbox"/>	Schedule for Participation by Small and Small Diverse Businesses (See Section 00 43 40 and Article 19 of the Instructions to Bidders).	
<input type="checkbox"/>	If full compliance for participation with Small and Small Diverse Businesses cannot be attained submit a Request for Waiver / Reduction of Participation Form (See Section 00 43 45 and Article 19 of the Instructions for Bidders)	
<input type="checkbox"/>	Sample Certificate of Insurance or Statement of Insurance indicating that insurance requirements can be met in accordance with Section 00 73 00 - Supplementary Conditions.	
<input type="checkbox"/>	Submission of Bid Security prepared in accordance with Article 13 of the Instructions to Bidders.	
<input type="checkbox"/>	Submission of Consent of Surety for Performance, Labor and Material Payment Bonds in accordance with Article 14 of the Instructions to Bidders.	
<input type="checkbox"/>	Evidence of participating in a State Certified Apprenticeship Program as requested on Bid Form Paragraph 14.16.	
<input type="checkbox"/>	Financial Statements, for the last three (3) years. The Financial Statements shall be attached only to the original copy of the Bid Form or in a separate envelope marked "CONFIDENTIAL".	
<input type="checkbox"/>	List of equipment available to perform proposed work requested on Bid Form Paragraph 14.14.	
<input type="checkbox"/>	Status of any current or ongoing legal actions in accordance with Article 26(A)(17) of the Instructions to Bidders.	

END OF SECTION

Bid Issue Date:
05/02/2025

BID FORM – CONTRACT 1: GENERAL CONSTRUCTION
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ADDENDUM #1

Bid No. 25-15

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

SECTION 00 41 00
BID FORM

1. The following bid is hereby made to:

The Philadelphia Parking Authority
Attention: Shannon Stewart, Manager of Contract Administration
701 Market Street, Suite 5400
Philadelphia, PA 19106

2. Stipulated Sum **Bid No. 25-15 Old City Garage Cosmetic Restoration.**

- 2.1 Base Bid

Pursuant to and in compliance with the Invitation to Bid and the Instruction to Bidders relating thereto, The Undersigned hereby proposes and agrees to furnish all the necessary labor, materials, equipment, facilities, tools and services, excluding building permits and fees, necessary to perform and complete the whole of the General Construction work described in the Contract Documents for **Bid No. 25-15 Old City Garage Cosmetic Restoration.**, and all appurtenant work in accordance with the Drawings, Specifications, General and Supplementary Conditions, Special Contract Requirements, and other Contract Documents, and according to any additional explanations that may be furnished by the Philadelphia Parking Authority for the following stipulated amount:

Grand Total Base Bid Dollars (\$_____)

Grand Total Amount of Base Bid Written Out _____

- 2.2 Bid Details

The Contractor shall supply the following bid details for the purpose of evaluating bids and establishing the schedule of values. All values are for materials, labor and equipment unless noted otherwise, and must equal total base bid amounts and grand total amount.

Name of Prime Bidder _____

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

2.2.1 Bid Detail

W.I. #	Description	Quantity	Unit	Bid Unit Cost	Extension Cost
01 - General Conditions and Temporary Protections					
1.01	General Conditions	1	LS	N/A	\$
1.02	Site Access and Protections	1	LS	N/A	\$
1.03	Bonds	1	LS	N/A	\$
1.04	Permits	1	LS	N/A	\$ 20,000.00
03 – Concrete Repairs					
3.01	Vertical Concrete Repair at Column - Facade	25	SF	\$	\$
04 - Masonry Repairs					
4.01	Brick Rebuild	75	SF	\$	\$
4.02	Masonry Repointing	1,300	SF	\$	\$
4.03	Site Paver Repairs	150	EA	\$	\$
07 - Water Management Repairs					
7.01	Rout and Seal Cracks – Façade	200	LF	\$	\$
7.02	Sealant Joint Replacement – Façade (Approx. 13,900 LF)	1	LS	N/A	\$
7.03	Window/Louver Perimeter Sealant Joint Replacement (Approx. 500 LF)	1	LS	N/A	\$
7.04	Window Sealant Joint Replacement – Metal to Metal (Approx. 300 LF)	1	LS	N/A	\$
7.05	Window Glazing Seal Replacement (Approx. 3,500 LF)	1	LS	N/A	\$
08 – Openings					
8.01	Curtain Wall Cover Strip Replacement	1	EA	\$	\$
09 – Painting Enhancements					
9.01	Façade Painting (Approx. 17050 SF)	1	LS	N/A	\$
9.02	Lobby Painting	1	LS	N/A	\$
Lobby Renovations					
L – 1	Lobby Soffit Replacement	1	LS	N/A	\$
L – 2	Lobby Fan Removal and Replacement	2	EA	\$	\$
L – 3	Lobby Brick Paving Seal	675	SF	\$	\$
Movie Theater Enhancements					
M – 1	Ritz Theater Awning Vinyl Replacement Only	1	LS	N/A	\$

Total Base Bid Amount (Must match value in Section 2.1) \$ _____

Bid Issue Date:
05/02/2025

BID FORM – CONTRACT 1: GENERAL CONSTRUCTION
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ADDENDUM #1

Bid No. 25-15

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

2.2.2 Alternates

W.I. #	Description	Quantity	Unit	Bid Unit Cost	Extension Cost
Alternates					
Movie Theater Enhancements					
ALT – 1	Ritz Theater Awning Replacement	1	LS	N/A	\$
ALT – 2	CMU Wall at Ground Level Painting (Approx. 1650 SF)	1	LS	N/A	\$

Total Alternates Amount \$ _____

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

2.3 Unit Prices

Although this is a lump sum bid, the Contractor shall supply unit prices for purpose of potential add/deducts. All unit pricing will be the same cost for both Adds and Deducts.

BID ITEM	DESCRIPTION	UNIT	BID UNIT COST
1	Electrician Hourly Rate	HR	
2	Plumbing Hourly Rate	HR	

2.4 Work Item Notes (For Items Listed below; All others, see project Drawings and Specifications):

- A. Work item 1.1 – General Conditions/ Mob/ Demob/ Bond: For setting up all necessary general conditions, insurance, overhead, and maintaining protection and facilities required by State laws and city Ordinances. This work item shall not include any overhead or profit for unit quantity or lump sum contract work included or incidental to other work items. Inclusive of all labor and materials required for setting up and maintaining site access and necessary protections to facilitate repairs. This work item shall not include any overhead or profit for unit quantity or lump sum contract work included or incidental to other work items. This work shall include all coordination and procurement of all necessary building permits, excluding actual cost of Permits.
- B. Work Item 1.02 – Site Access and Protections: Inclusive of all labor and materials required for setting up and maintaining site access and necessary protections to facilitate repairs. This work item shall not include any overhead or profit for unit quantity or lump sum contract work included or incidental to other work items.
- C. Work Item 1.04 – Permits: This work item accounts for the actual cost of permits including the filing fee. Any difference in permit cost plus or minus (+/-) from the extension cost identified in the bid will be separately addressed via change order at direct differential cost of permit with submitted permit form indicating permit and application fee (no markup allowed on permit cost and/or fees).
- D. Work Item M -1 – Ritz Theater Awning Vinyl Replacement Only: Inclusive of removal of existing fabric lining. Provide and install new fade resistant fabric lining (color "white" to be confirmed by Owner). New fabric cover to be attached with laced on attachments and awning to be re-attached with galvanized steel hardware.
- E. Work Item ALT-1 – Ritz Theater Awning Replacement: Inclusive of removal of the existing awning framing and replacement of the vinyl covering. All hardware is to consist of galvanized steel components, framing is to consist of 3/4" steel tubing. Vinyl covering is to be replaced with white, fade-resistant fiber fabric, with laced-on fit to awning framing.

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

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3. Knowledge of Contract Documents

Bid No. 25-15 Old City Garage Cosmetic Restoration, including Notice to Bidders, Instructions to Bidders, General and Supplementary Conditions of the Contract and Addenda, if any, (hereinafter collectively referred to as the "Bidding Documents") as prepared by the Philadelphia Parking Authority and on file in the office of the Philadelphia Parking Authority at 701 Market Street, Suite 5400, Philadelphia, PA, hereby proposes to complete all work as specified or indicated in the Bidding Documents for the Stipulated Amount and within the Contract Time indicated in this bid.

Authorized Signature

Print Name of Signer

Title of Signer

Date

4. Site Inspection Statement

The Undersigned has visited and examined the site involved for **Bid No. 25-15 Old City Garage Cosmetic Restoration**, as required in the Instructions to Bidders. As a consequence of this inspection, the undersigned Contractor has knowledge of local conditions and is fully cognizant of the circumstances and conditions that may affect the prosecution and completion of the work and the cost thereof.

The site inspection took place prior to the submission of the bid.

Authorized Signature

Print Name of Signer

Title of Signer

Date of Inspection

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

5. Execution of Agreement and Furnishing Bonds

Execution of Agreement and Furnishing Bonds

Within ten (10) calendar days after receipt of written Notice of Award of Contract, the Contractor agrees to execute and deliver the form of Agreement included as one of the Contract Documents, and to furnish a Performance Bond in an amount equal to 100% of the Contract Amount and a Labor and Material Payment Bond in an amount equal to 100% of the Contract Amount.

Authorized Signature

Print Name of Signer

Title of Signer

Date

6. Addenda

The Undersigned hereby acknowledges receipt of the following Addenda:

<u>Addendum No.</u>	<u>Dated</u>	<u>No. of Pages</u>	<u>Signature</u>
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

7. Contract Time

If awarded the Contract, the Undersigned agrees to complete the entire work in **One hundred and twenty (120) Calendar Days** commencing from the date of Notice to Proceed.

Authorized Signature

Print Name of Signer

Title of Signer

Date

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

8. Work Conditions

The Undersigned is cognizant of the fact that other contractors may be concurrently performing work in the same areas and that the Undersigned is responsible for providing full and uninterrupted access to other contractors performing work at all times.

Authorized Signature

Print Name of Signer

Title of Signer

Date

9. Submission of Plans and Schedules

Within five (5) days after receipt of written Notice to Proceed, based upon the Undersigned's knowledge and review of the Bidding Documents (as set forth in Paragraph 3) and the Contract Time (as set forth in Paragraph 7), the Undersigned agree to execute and submit to the Philadelphia Parking Authority the following "Plans and Schedules," which shall thereafter constitute Contract Documents:

- 9.1 A Construction Management Plan which should include all phasing, scheduling and submissions of all required documents to allow for timely execution of the Contract per the Owner's overall project documents and milestone schedule and include manpower projection and anticipated schedule of payments for the entire project.
- 9.2 A Detailed Project Schedule which should be a complete Critical Path Method schedule indicating all tasks involved in order to complete the project.
- 9.3 A Quality Control Plan which should designate the Undersigned's Quality Control Manager, who will be responsible for communicating with Philadelphia Parking Authority and its agents with respect to all quality control issues throughout the project. The contractor must submit the Contractor's Quality Control Plan. The plan must include reference to all over site associations referred to in the Contract Documents as they pertain to Quality Control and pertinent Quality Control forms (example: Welding Certificate and Reference Specifications) in order to execute all work as intended in the Bid Documents.

Authorized Signature

Print Name of Signer

Title of Signer

Date

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

10. Authority's Rights Reserved

The Undersigned understands that the Philadelphia Parking Authority reserves the right to withdraw and cancel this Invitation to Bid prior to opening of bids, to reject any or all bids after bids are opened, or to waive any formality or technicality in any Bid; in the best interest of the Philadelphia Parking Authority. Furthermore, the Philadelphia Parking Authority reserves the right to delete portions of any work and award a contract for the remaining balance of work included in the Contract Documents.

Authorized Signature

Print Name of Signer

Title of Signer

Date

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

11. Bid Submission Acknowledgement

The above proposal is hereby respectfully submitted by: **(Complete Section 11.1 or 11.2).**

11.1 If bid is by a corporation, form must include the date and be signed here by (a) President or Vice President, and (b) Secretary, Assistant Secretary, Treasurer, Assistant Treasurer, or Officer. If this form is not so signed, a corporate resolution authorizing form of execution must be attached to this bid.

Signature

Signature

Typed or Printed Name

Typed or Printed Name

Title

Title

Business Name of Bidder

Street Address

Date

City/State/ZIP Code

Telephone Number

11.2 If bid is by a business entity other than a corporation form must be dated and signed here:

Authorized Signature

Business Name of Bidder

Typed or Printed Name

Street Address

Title

City/State/ ZIP Code

Date

Telephone Number

Type of Entity

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

12. Affidavit of Non-Collusion:

State of: _____ Bid No. _____

County of: _____

I state that I am _____ (Title) of _____ (name of my organization) and that I am authorized to make this affidavit on behalf of my firm, and its owners, directors, members and officers. I am the person responsible in my firm for the price(s) and the amount of this proposal and I have placed my signature below.

I state that:

- (1) The price(s) and amount of this proposal have been arrived at independently and without consultation, communication or agreement with any other contractor, offeror or potential offeror.
- (2) Neither the price(s) nor the amount of this proposal, and neither the terms nor the approximate price(s) nor approximate amount of this proposal, have been disclosed to any other firm or person who is a bidder or potential proposal, and they will not be disclosed before proposal opening.
- (3) No attempt has been made or will be made to induce any firm or person to refrain from submitting a proposal in response to this solicitation, or to submit a proposal higher than this proposal, or to submit any intentionally high or noncompetitive proposal or other form of complementary proposal.
- (4) The proposal of my organization is made in good faith and not pursuant to any agreement or discussion with, or inducement from, any firm or person to submit a complementary or other noncompetitive bid. I have read, understand and will abide by the Authority's Contractor Integrity Provisions.
- (1) _____ (name of my organization) its affiliates, subsidiaries, officers, directors, members and employees are not currently under investigation by any governmental agency and have not in the last four years been convicted or found liable for any act prohibited by State or Federal law in any jurisdiction, involving conspiracy or collusion with respect to bidding on any public contract, except as follows: _____

I state that _____ (name of my organization) understands and acknowledges that the above representations are material and important and will be relied on by The Philadelphia Parking Authority when awarding the contract for which this proposal is submitted. I understand and my organization understands that any misstatement in this affidavit is and shall be treated as fraudulent concealment from The Philadelphia Parking Authority of the true facts relating to the submission of bids for this contract.

Authorized Signature

SWORN TO AND SUBSCRIBED

BEFORE ME THIS _____ DAY
OF _____ 2025.

Notary Public

My Commission Expires: _____

Bid Issue Date:
05/02/2025

BID FORM – CONTRACT 1: GENERAL CONSTRUCTION
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Bid No. 25-15

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

13. Bidder's Statement for Materials

- 13.1. The undersigned acknowledges furnishing and installing the products specified in the Project Manual for each type of work. The undersigned also acknowledges that his proposal is based on the cost of furnishing and installing the named products specified in the Project Manual and based on all materials to be American products made in the United States.

Authorized Signature

Print Name of Signer

Title of Signer

Date

- 13.2. The undersigned acknowledges that she/he will use the products listed below which he/she certifies are the equal of the named products specified in the Project Manual by the Owner and which he agrees, in accordance with the provisions of the Instructions to Bidders, will be permitted only if each proposed substitution has been approved in writing by the Owner prior to bid. The Owner reserves the sole right to approve original and verifiable quality control and standards of any and all materials used for this project. The undersigned confirms also that his proposal is based on the cost of furnishing and installing said approved products prior to bid as listed below:

Material: _____

As Manufactured by: _____

Is Proposed as the Equal of: _____

And Has Been Approved by the Owner and the Architect on Addendum No.: _____

Material: _____

As Manufactured by: _____

Is Proposed as the Equal of: _____

And Has Been Approved by the Owner and the Architect on Addendum No.: _____

Material: _____

As Manufactured by: _____

Is Proposed as the Equal of: _____

And Has Been Approved by the Owner and the Architect on Addendum No.: _____

Signature of Owner or Partner

Name and Title of Signer

Name of Firm

Date

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

14. Bidder Qualification Form

14.1 Legal Name of Firm or Company _____

Street Address _____

City _____ State _____ Zip _____

Phone Number _____ Fax Number _____

Email Address _____ Website _____

Contact Person _____ Mobile Number _____

14.2 Type of Business: **(Check one)**

____ Sole Proprietor

Date Company Started _____

Name of Owner _____

Street Address _____

City _____ State _____ Zip _____

____ Partnership **(Attach list as needed)**

Date of Partnership Agreement _____

Name of Partner _____

Street Address _____

City _____ State _____ Zip _____

Name of Partner _____

Street Address _____

City _____ State _____ Zip _____

____ Limited Liability Company **(Attach list as needed)**

Date of Certificate of Formation _____

Name of Managing Member _____

Street Address _____

City _____ State _____ Zip _____

Name of Member _____

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

Street Address _____

City _____ State _____ Zip _____

____ Corporation

Date of Incorporation _____ State of Incorporation _____

President _____

Street Address _____

City _____ State _____ Zip _____

Vice President _____

Street Address _____

City _____ State _____ Zip _____

Secretary _____

Street Address _____

City _____ State _____ Zip _____

Treasurer _____

Street Address _____

City _____ State _____ Zip _____

14.3 Federal Tax Identification Number (EIN): _____

14.4 Philadelphia Tax Account Number: _____

14.5 Philadelphia Commercial Activity License Number: _____

14.6 Philadelphia Contractor's Trade License Number: _____

14.7 Number of employees: **(Check one)**

____ Under 25 ____ Under 50 ____ Under 100 ____ Over 100

14.8 Is your company a certified: **(Check all that apply)**

____ MBE ____ WBE ____ DS-DBE ____ OTHER

Certified by: _____

Bid Issue Date:
05/02/2025

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Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

14.9 How many years of experience in this type of construction work does your organization have as a Prime Contractor? _____

14.10 List up to five similar projects your company has completed as a Prime Contractor in the past five years, giving the name of the project, Owner, Architect, contract amount, date of completion and percentage of the cost of the work performed by your own forces. Provide an individual contact person for each project and the email address and telephone number of the individual contact person the Authority may contact as a reference.

Project Name _____

Owner _____

Street Address _____

City _____ State _____ Zip _____

Phone Number _____ Email Address _____

Contact Person _____

Architect _____

Contract Amount \$ _____ Date of Completion _____

Percentage of Cost completed by your own forces _____

Project Name _____

Owner _____

Street Address _____

City _____ State _____ Zip _____

Phone Number _____ Email Address _____

Contact Person _____

Architect _____

Contract Amount \$ _____ Date of Completion _____

Percentage of Cost completed by your own forces _____

Project Name _____

Owner _____

Street Address _____

City _____ State _____ Zip _____

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

Phone Number _____ Email Address _____

Contact Person _____

Architect _____

Contract Amount \$ _____ Date of Completion _____

Percentage of Cost completed by your own forces _____

Project Name _____

Owner _____

Street Address _____

City _____ State _____ Zip _____

Phone Number _____ Email Address _____

Contact Person _____

Architect _____

Contract Amount \$ _____ Date of Completion _____

Percentage of Cost completed by your own forces _____

Project Name _____

Owner _____

Street Address _____

City _____ State _____ Zip _____

Phone Number _____ Email Address _____

Contact Person _____

Architect _____

Contract Amount \$ _____ Date of Completion _____

Percentage of Cost completed by your own forces _____

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

- 14.11 List up to five similar projects your company has in progress as a Prime Contractor, giving the name of the project, Owner, Architect, contract amount, percentage complete, scheduled completion date and percentage of the cost of the work performed by your own forces. Provide an individual contact person for each project and the email address and telephone number of the individual contact person the Authority may contact as a reference.

Project Name _____

Owner & Contact Person _____

Street Address _____

City _____ State _____ Zip _____

Email Address _____ Phone Number _____

Architect _____

Contract Amount \$ _____

Percentage Complete _____ Scheduled Date of Completion _____

Percentage of Cost completed by your own forces _____

Project Name _____

Owner & Contact Person _____

Street Address _____

City _____ State _____ Zip _____

Email Address _____ Phone Number _____

Architect _____

Contract Amount \$ _____

Percentage Complete _____ Scheduled Date of Completion _____

Percentage of Cost completed by your own forces _____

Project Name _____

Owner & Contact Person _____

Street Address _____

City _____ State _____ Zip _____

Email Address _____ Phone Number _____

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

Architect _____

Contract Amount \$ _____

Percentage Complete _____ Scheduled Date of Completion _____

Percentage of Cost completed by your own forces _____

Project Name _____

Owner & Contact Person _____

Street Address _____

City _____ State _____ Zip _____

Email Address _____ Phone Number _____

Architect _____

Contract Amount \$ _____

Percentage Complete _____ Scheduled Date of Completion _____

Percentage of Cost completed by your own forces _____

Project Name _____

Owner & Contact Person _____

Street Address _____

City _____ State _____ Zip _____

Email Address _____ Phone Number _____

Architect _____

Contract Amount \$ _____

Percentage Complete _____ Scheduled Date of Completion _____

Percentage of Cost completed by your own forces _____

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

14.12 List Bank Reference.

Bank Name _____

Street Address _____

City _____ State _____ Zip _____

Phone Number _____ Fax Number _____

Contact Person _____

14.13 List Trade References.

Company Name _____

Street Address _____

City _____ State _____ Zip _____

Phone Number _____ Fax Number _____

Contact Person _____

Company Name _____

Street Address _____

City _____ State _____ Zip _____

Phone Number _____ Fax Number _____

Contact Person _____

Company Name _____

Street Address _____

City _____ State _____ Zip _____

Phone Number _____ Fax Number _____

Contact Person _____

14.14 **On a separate sheet, list the equipment available for the performance of work under the proposed contract.**

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

14.15 List any Unions that you have agreements with. If none, write "none".

Local Number	Union Name	Agreement Expiration
_____	_____	_____
_____	_____	_____
_____	_____	_____

14.16 Certified Apprenticeship Program Participation

Bidders must be currently participating in an approved Apprenticeship Program which is currently registered with the U.S. Department of Labor or a state apprenticeship agency for each craft or trade that will be engaged in the Work. Bidders shall employ apprentices whose training and employment are in full compliance with the Apprenticeship and Training Act, approved July 14, 1961.

- 1) Does Bidder participate in an approved Apprenticeship Program which is currently registered with the U.S. Department of Labor or a state apprenticeship agency for each craft or trade that will be engaged in the Work? (Attach appropriate documents evidencing participation and enrollment in Apprenticeship Program[s])

____ Yes ____ No

- 2) Is Bidder a signatory to a collective bargaining agreement for each craft or trade that will be engaged in the Work? (Attach appropriate documents evidencing the relevant agreement[s])

____ Yes ____ No

If Bidder answered "Yes" to questions 1 or 2, please answer question 3 (including sub-parts) below.

- 3) Does Bidder, or its labor for each craft or trade, have apprentices and trainees currently participating in said Apprenticeship Program[s]?

____ Yes ____ No

- (a) If yes, has Bidder, or its labor for each craft or trade, graduated at least one (1) enrollee in each of the past three (3) years?

____ Yes ____ No

- (b) If yes, has Bidder (or its labor for each craft or trade) successfully graduated at least 75% of the program enrollees in each of the past three (3) years*? (Graduation rate is calculated by dividing graduates in a calendar year by the number of enrollees in that year.)

____ Yes ____ No

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

The Undersigned hereby certifies that it participates, directly or through its labor for each craft or trade, in an approved Apprenticeship Program which is currently registered with the U.S. Department of Labor or a state apprenticeship agency for each craft or trade that will be engaged in the Work; that the attached documentation is true and correct proof of its current participation; and will continue to participate in applicable apprenticeship programs for each craft or trade for the full duration of the Work.

Authorized Signature

Print Name of Signer

Title of Signer

Date

14.17 If "yes" is checked to any of the following questions, applicable within the past five (5) years, please provide a brief summary and details.

- 1) Has your company ever defaulted or been terminated on a contract?
____ Yes ____ No
- 2) Has your company ever had a claim made against it for improper, delayed, or non-compliant work or failure to meet warranty obligations?
____ Yes ____ No
- 3) Has your company or any of its principals ever petitioned for bankruptcy or failed in business?
____ Yes ____ No
- 4) Have any of the Owners, Officers, or Major Stockholders of your company ever been indicted or convicted of any felony or other criminal conduct?
____ Yes ____ No
- 5) Has your company ever been banned or otherwise precluded from pursuing public work or have ever been found to be non-responsive by a public agency?
____ Yes ____ No
- 6) Is your company or any of its Owners, Officers, or Major Stockholders currently involved in any arbitration or litigation?
____ Yes ____ No
- 7) Does your company have any outstanding judgments or claims against it?
____ Yes ____ No
- 8) Has any litigation been brought against your company asserting that you failed to make payments to anyone?
____ Yes ____ No

Name of Prime Bidder

PHILADELPHIA PARKING AUTHORITY
COSMETIC RESTORATION
OLD CITY GARAGE

Construction Type: General Construction

15. Financial Statements

15.1 Certified Public Accountant Firm

Company Name _____

Street Address _____

City _____ State _____ Zip _____

Phone Number _____ Fax Number _____

Contact Person _____

15.2 Attach Financial Statements, for the last three (3) years, which have been audited or reviewed by an independent Certified Public Accountant who is not an employee of the Bidder.

Are the attached Financial Statements for the identical organization named on page one of this Bid Form?

____ Yes ____ No

If not, explain the relationship and the financial responsibility of the organization whose Financial Statements are provided (e.g., parent or subsidiary).

END OF SECTION

Bid No. 25-15 Addendum #1 - Appendix B

Revised Section 09 91 00 Interior Painting Article 3.6

SECTION 099100
INTERIOR PAINTING
ADDENDUM #1

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes surface preparation and the application of paint systems on interior substrates including the following:
 - 1. New Gypsum board.
 - 2. Concrete.

1.3 DEFINITIONS

- A. Gloss Level 1: Not more than 5 units at 60 degrees and 10 units at 85 degrees, according to ASTM D 523.
- B. Gloss Level 2: Not more than 10 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D 523.
- C. Gloss Level 3: 10 to 25 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D 523.
- D. Gloss Level 4: 20 to 35 units at 60 degrees and not less than 35 units at 85 degrees, according to ASTM D 523.
- E. Gloss Level 5: 35 to 70 units at 60 degrees, according to ASTM D 523.
- F. Gloss Level 6: 70 to 85 units at 60 degrees, according to ASTM D 523.
- G. Gloss Level 7: More than 85 units at 60 degrees, according to ASTM D 523.

1.4 ACTION SUBMITTALS

- A. Product Data: For each type of product. Include preparation requirements and application instructions.
- B. Samples for Initial Selection: For each type of topcoat product.
- C. Samples for Verification: For each type of paint system and in each color and gloss of topcoat.
 - 1. Submit Samples on rigid backing, 8 inches (200 mm) square.
 - 2. Step coats on Samples to show each coat required for system.
 - 3. Label each coat of each Sample.
 - 4. Label each Sample for location and application area.
- D. Product List: For each product indicated, include the following:
 - 1. Cross-reference to paint system and locations of application areas. Use same designations indicated on Drawings and in schedules.
 - 2. Printout of current "MPI Approved Products List" for each product category specified in Part 2, with the proposed product highlighted.
 - 3. VOC content.

1.5 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials, from the same product run, that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.

1. Paint: 5 percent, but not less than 2 gal. (7.6 L) of each material and color applied.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than 45 deg F (7 deg C).

1. Maintain containers in clean condition, free of foreign materials and residue.

2. Remove rags and waste from storage areas daily.

1.7 FIELD CONDITIONS

- A. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between 50 and 95 deg F (10 and 35 deg C).

- B. Do not apply paints when relative humidity exceeds 85 percent; at temperatures less than 5 deg F (3 deg C) above the dew point; or to damp or wet surfaces.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Manufacturers: Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:

1. Sherwin-Williams Company.

2. **Conproco Corp.**

3. Or Approved Equal.

2.2 PAINT, GENERAL

- A. MPI Standards: Provide products that comply with MPI standards indicated and that are listed in its "MPI Approved Products List."

- B. Material Compatibility:

1. Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.

2. For each coat in a paint system, provide products recommended in writing by manufacturers of topcoat for use in paint system and on substrate indicated.

- C. VOC Content: Products shall comply with VOC limits of authorities having jurisdiction and, for interior paints and coatings applied at Project site, the following VOC limits, exclusive of colorants added to a tint base, when calculated according to 40 CFR 59, Subpart D (EPA Method 24).

1. Flat Paints and Coatings: 50 g/L.

2. Nonflat Paints and Coatings: 150 g/L.

3. Dry-Fog Coatings: 400 g/L.

4. Primers, Sealers, and Undercoaters: 200 g/L.

- D. **Colors: As selected by Owner from manufacturer's full range or as indicated.**

INTERIOR PAINTING

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ADDENDUM #1

2.3 INTERIOR PAINT SCHEDULE

A. Gypsum board:

- a. **Primer: As per manufacturer's instructions.**
- b. **Topcoat: Interior Latex Acrylic, Flat, Interior Institutional Low Odor/VOC**
 - 1) **Sherwin Williams SuperPaint Interior Acrylic Latex**
 - 2) **Or Approved equal**

B. Concrete surface:

- a. **Primer: As per manufacturer's instructions.**
- b. **Topcoat:**
 - 1) **Conproco Corp., M3P Overcoat**
 - 2) **Or Approved Equal.**

2.4 SOURCE QUALITY CONTROL

A. Testing of Paint Materials: Owner reserves the right to invoke the following procedure:

- 1. Owner will engage the services of a qualified testing agency to sample paint materials. Contractor will be notified in advance and may be present when samples are taken. If paint materials have already been delivered to Project site, samples may be taken at Project site. Samples will be identified, sealed, and certified by testing agency.
- 2. Testing agency will perform tests for compliance with product requirements.
- 3. Owner may direct Contractor to stop applying coatings if test results show materials being used do not comply with product requirements. Contractor shall remove noncomplying paint materials from Project site, pay for testing, and repaint surfaces painted with rejected materials. Contractor will be required to remove rejected materials from previously painted surfaces if, on repainting with complying materials, the two paints are incompatible.

PART 3 - EXECUTION

3.1 EXAMINATION

A. Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of the Work.**B. Conditions of Surfaces:**

- 1. Prior to commencement of repainting work, thoroughly examine (and test as required) all interior conditions and surfaces scheduled to be repainted and report in writing to the Architect and General Contractor where any conditions or surfaces that will adversely affect work of this section.
- 2. The degree of surface deterioration (DSD) shall be assessed using the assessment criteria indicated in the MPI Maintenance Repainting Manual. In general the MPI DSD ratings and descriptions are as follows:

Condition	Description
DSD-0	Sound Surface (may include visual (aesthetic) defects that do not affect film's protective properties).
DSD-1	Slightly Deteriorated Surface (may show fading; gloss reduction, slight surface contamination, minor pin holes scratches, etc.) / Minor cosmetic defects (runs, sags, etc.).
DSD-2	Moderately Deteriorated Surface (small areas of peeling, flaking, slight cracking, staining, etc.).
DSD-3	Severely Deteriorated Surface (heavy peeling, flaking, cracking, checking, scratches, scuffs, abrasion, small holes and gouges).
DSD-4	Substrate Damage (repair or replacement of surface required by others).

3. Other than the repair of DSD-1 to DSD-3 defects included under this scope of work, structural and DSD-4 substrate defects discovered prior to and after surface preparation or after first coat of paint shall be made good and sanded by others ready for painting, unless otherwise agreed to by the Owner and painter to be included in this Work.

4. No repainting work shall commence until all such DSD-4 adverse conditions and defects have been corrected and surfaces and conditions are acceptable to the Painting Subcontractor. The Painting Subcontractor shall not be responsible for the condition of the substrate or for correcting defects and deficiencies in the substrate, which may adversely affect the painting work except for minimal work normally performed by the Painting Subcontractor and as, indicated herein. It shall always, however, be the responsibility of the Painting Subcontractor to see that surfaces are properly prepared before any paint or coating is applied. It shall also be the Painting Subcontractor's responsibility to paint the surface as specified providing that the owner accepts responsibility for uncorrected DSD-4 substrate conditions.

C. Maximum Moisture Content of Substrates: When measured with an electronic moisture meter as follows:

1. Gypsum Board: 12 percent.
2. Masonry: 12 percent.
3. Concrete: 12 percent.

D. Gypsum Board Substrates: Verify that finishing compound is sanded smooth.

E. Verify suitability of substrates, including surface conditions and compatibility with existing finishes and primers.

F. Proceed with coating application only after unsatisfactory conditions have been corrected.

1. Application of coating indicates acceptance of surfaces and conditions.

3.2 PREPARATION

A. Comply with manufacturer's written instructions and recommendations in "MPI Manual" applicable to substrates indicated.

INTERIOR PAINTING

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ADDENDUM #1

- B. Remove hardware, covers, plates, and similar items already in place that are removable and are not to be painted. If removal is impractical or impossible because of size or weight of item, provide surface-applied protection before surface preparation and painting.
 - 1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed. Remove surface-applied protection if any.
- C. Clean substrates of substances that could impair bond of paints, including dust, dirt, oil, grease, and incompatible paints and encapsulants.
 - 1. Remove incompatible primers and reprime substrate with compatible primers or apply tie coat as required to produce paint systems indicated.
- D. Concrete Substrates: Remove release agents, curing compounds, efflorescence, and chalk. Do not paint surfaces if moisture content or alkalinity of surfaces to be painted exceeds that permitted in manufacturer's written instructions.
- E. Masonry Substrates: Remove efflorescence and chalk. Do not paint surfaces if moisture content or alkalinity of surfaces or mortar joints exceed that permitted in manufacturer's written instructions.

3.3 APPLICATION

- A. Apply paints according to manufacturer's written instructions and to recommendations in "MPI Manual."
 - 1. Use applicators and techniques suited for paint and substrate indicated.
 - 2. Paint surfaces behind movable equipment and furniture same as similar exposed surfaces. Before final installation, paint surfaces behind permanently fixed equipment or furniture with prime coat only.
 - 3. Paint front and backsides of access panels, removable or hinged covers, and similar hinged items to match exposed surfaces.
 - 4. Do not paint over labels of independent testing agencies or equipment name, identification, performance rating, or nomenclature plates.
 - 5. Primers specified in painting schedules may be omitted on items that are factory primed or factory finished if acceptable to topcoat manufacturers.
- B. Tint each undercoat a lighter shade to facilitate identification of each coat if multiple coats of same material are to be applied. Tint undercoats to match color of topcoat, but provide sufficient difference in shade of undercoats to distinguish each separate coat.
- C. If undercoats or other conditions show through topcoat, apply additional coats until cured film has a uniform paint finish, color, and appearance.
- D. Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks.

3.4 FIELD QUALITY CONTROL

- A. Dry Film Thickness Testing: Owner may engage the services of a qualified testing and inspecting agency to inspect and test paint for dry film thickness.
 - 1. Contractor shall touch up and restore painted surfaces damaged by testing.
 - 2. If test results show that dry film thickness of applied paint does not comply with paint manufacturer's written recommendations, Contractor shall pay for testing and apply additional coats as needed to provide dry film thickness that complies with paint manufacturer's written recommendations.

INTERIOR PAINTING

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ADDENDUM #1

3.5 CLEANING AND PROTECTION

- A. At end of each workday, remove rubbish, empty cans, rags, and other discarded materials from Project site.
- B. After completing paint application, clean spattered surfaces. Remove spattered paints by washing, scraping, or other methods. Do not scratch or damage adjacent finished surfaces.
- C. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by Architect, and leave in an undamaged condition.
- D. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

END OF SECTION

Bid No. 25-15 Addendum #1 - Appendix C

Revised Section 09 91 13 Exterior Painting Article 3.6

SECTION 09 91 13
EXTERIOR PAINTING
ADDENDUM #1**PART 1 - GENERAL****1.1 SUMMARY****A. Section Includes:**

1. Surface preparation and application of paint systems on the following exterior substrates:
 - a. Concrete.
 - b. Gypsum board.

1.2 DEFINITIONS

- A. Gloss Level 1: Not more than five units at 60 degrees and 10 units at 85 degrees, according to ASTM D523.
- B. Gloss Level 3: 10 to 25 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D523.
- C. Gloss Level 4: 20 to 35 units at 60 degrees and not less than 35 units at 85 degrees, according to ASTM D523.
- D. Gloss Level 5: 35 to 70 units at 60 degrees, according to ASTM D523.
- E. Gloss Level 6: 70 to 85 units at 60 degrees, according to ASTM D523.
- F. Gloss Level 7: More than 85 units at 60 degrees, according to ASTM D523.

1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product. Include preparation requirements and application instructions.
 1. Include printout of current "MPI Approved Products List" for each product category specified, with the proposed product highlighted.
 2. Indicate VOC content.
- B. Samples for Initial Selection: For each type of topcoat product.
- C. Samples for Verification: For each type of paint system and each color and gloss of topcoat.
 1. Submit Samples on rigid backing, **8 inches** square.
 2. Apply coats on Samples in steps to show each coat required for system.
 3. Label each coat of each Sample.
 4. Label each Sample for location and application area.
- D. Product List: Cross-reference to paint system and locations of application areas. Use same designations indicated on Drawings and in the Finish Material Schedule to cross-reference paint systems specified in this Section. Include color designations.

1.4 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.
 1. Paint: 5 percent, but not less than 2 gal. of each material and color applied.

1.5 QUALITY ASSURANCE

- A. Mockups: Apply mockups of each paint system indicated and each color and finish selected to verify selections made under Sample submittals, to demonstrate aesthetic effects, and to set quality standards for materials and execution.
 1. Architect will select one surface to represent surfaces and conditions for application of

each paint system.

- a. Vertical and Horizontal Surfaces: Provide samples of at least 100 sq. ft.
 - b. Other Items: Architect will designate items or areas required.
2. Final approval of color selections will be based on mockups.
 - a. If preliminary color selections are not approved, apply additional mockups of additional colors selected by Architect at no added cost to Owner.
 3. Approval of mockups does not constitute approval of deviations from the Contract Documents contained in mockups unless Architect specifically approves such deviations in writing.
 4. Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Delivery and Handling: Deliver products to Project site in an undamaged condition in manufacturer's original sealed containers, complete with labels and instructions for handling, storing, unpacking, protecting, and installing. Packaging shall bear the manufacture's label with the following information:
 1. Product name and type (description).
 2. Batch date.
 3. Color number.
 4. VOC content.
 5. Environmental handling requirements.
 6. Surface preparation requirements.
 7. Application instructions.
- B. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than 45 deg F.
 1. Maintain containers in clean condition, free of foreign materials and residue.
 2. Remove rags and waste from storage areas daily.

1.7 FIELD CONDITIONS

- A. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between 50 and 95 deg F (10 and 35 deg C).
- B. Do not apply paints in snow, rain, fog, or mist; when relative humidity exceeds 85 percent; at temperatures less than 5 deg F (3 deg C) above the dew point; or to damp or wet surfaces.
- C. Hazardous Materials: It is not expected that hazardous materials will be encountered in the Work.
 1. If suspected hazardous materials are encountered, do not disturb; immediately notify Architect and Owner.
- D. Hazardous Materials: Hazardous materials including lead paint may be present in buildings and structures to be painted. A report on the presence of known hazardous materials is on file for review and use. Examine report to become aware of locations where hazardous materials are present.
 1. Do not disturb hazardous materials or items suspected of containing hazardous materials except under procedures specified.
 2. Perform preparation for painting of substrates known to include lead paint in accordance with EPA Renovation, Repair and Painting Rule and additional requirements of authorities having jurisdiction.

1.8 WARRANTY

- A. Completed coating applications shall be guaranteed jointly and severally by the installation contractor and by the material manufacturer against defects and application, for a period of five (5) years from the date of substantial completion.**

PART 2 - PRODUCTS**2.1 PAINT PRODUCTS**

- A. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
1. Sherwin-Williams Company (The)
 2. **Conproco Corp.**
 3. Or approved equal.
- B. Products: Subject to compliance with requirements, provide one of the products listed in the Finish Material Schedule for the paint category indicated.
- C. Source Limitations: Obtain paint from single source from single manufacturer.
- D. MPI Standards: Provide products complying with MPI standards indicated and listed in its "MPI Approved Products List."
- E. Material Compatibility:
1. Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
 2. For each coat in a paint system, provide products recommended in writing by topcoat manufacturers for use in paint system and on substrate indicated.
- F. VOC Content: For field applications, paints and coatings shall comply with VOC content limits of authorities having jurisdiction and the following VOC content limits:
1. Flat Paints and Coatings: 50 g/L.
 2. Nonflat Paints and Coatings: 50 g/L.
 3. Dry-Fog Coatings: 150 g/L.
 4. Primers, Sealers, and Undercoaters: 100 g/L.
 5. Rust-Preventive Coatings: 100 g/L.
 6. Zinc-Rich Industrial Maintenance Primers: 100 g/L.
 7. Pretreatment Wash Primers: 420 g/L.
 8. Shellacs, Clear: 730 g/L.
 9. Shellacs, Pigmented: 550 g/L.
- G. Colors: As selected by Architect from manufacturer's full range

PART 3 - EXECUTION**3.1 EXAMINATION**

- A. Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of the Work.
- B. Maximum Moisture Content of Substrates: When measured with an electronic moisture meter as follows:
1. Concrete: 12 percent.
 2. Masonry (Clay and CMUs): 12 percent.
 3. Portland Cement Plaster: 12 percent.
 4. Gypsum Board: 12 percent.
- C. Concrete Substrates: Verify that concrete is fully cured.

- D. Exterior Gypsum Board Substrates: Verify that finishing compound is sanded smooth.
- E. Verify suitability of substrates, including surface conditions and compatibility, with existing finishes and primers.
- F. Proceed with coating application only after unsatisfactory conditions have been corrected.
 - 1. Application of coating indicates acceptance of surfaces and conditions.

3.2 PREPARATION

- A. **Clean surfaces thoroughly and correct defects prior to application.**
- B. Clean substrates of substances that could impair bond of paints, including dust, dirt, oil, grease, and incompatible paints and encapsulants using methods recommended in writing by paint manufacturer.
 - a. **Remove incompatible primers and reprime substrate with compatible primers or apply tie coat as required to produce paint systems indicated.**
- C. **Prepare surfaces using methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.**
- D. Comply with manufacturer's written instructions and recommendations in "MPI Manual" applicable to substrates and paint systems indicated.
- E. Remove hardware, covers, plates, and similar items already in place that are removable and are not to be painted. If removal is impractical or impossible because of size or weight of item, provide surface-applied protection before surface preparation and painting.
 - 1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed. Remove surface-applied protection.
- F. **Seal surfaces that might cause bleed through or staining of topcoat.**
- G. **Concrete and CMU surfaces:**
 - 1. **Remove release agents, curing compounds, efflorescence, and chalk. Do not paint surfaces if moisture content or alkalinity of surfaces to be painted exceeds that permitted in manufacturer's written instructions.**
 - 2. **Prepare surfaces as recommended by topcoat manufacturer and according to SPPC-SP 13.**

3.3 INSTALLATION

- A. Apply paints in accordance with manufacturer's written instructions and recommendations in "MPI Manual."
 - 1. Use applicators and techniques suited for paint and substrate indicated.
 - 2. Paint surfaces behind movable items same as similar exposed surfaces. Before final installation, paint surfaces behind permanently fixed items with prime coat only.
 - 3. Paint entire exposed surface of window frames and sashes.
 - 4. Do not paint over labels of independent testing agencies or equipment name, identification, performance rating, or nomenclature plates.
 - 5. Primers specified in the Finish Material Schedule may be omitted on items that are factory primed or factory finished if compatible with intermediate and topcoat coatings and acceptable to intermediate and topcoat paint manufacturers.
- B. Tint undercoats same color as topcoat, but tint each undercoat a lighter shade to facilitate identification of each coat if multiple coats of same material are to be applied. Provide sufficient difference in shade of undercoats to distinguish each separate coat.
- C. If undercoats or other conditions show through topcoat, apply additional coats until cured film has a uniform paint finish, color, and appearance.

- D. Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks.

3.4 FIELD QUALITY CONTROL

- A. Dry Film Thickness Testing: Owner may engage the services of a qualified testing and inspecting agency to inspect and test paint for dry film thickness.
 - 1. Contractor shall touch up and restore painted surfaces damaged by testing.
 - 2. If test results show that dry film thickness of applied paint does not comply with paint manufacturer's written instructions, Contractor shall pay for testing and apply additional coats as needed to provide dry film thickness that complies with paint manufacturer's written instructions.
- 3. **Field-Adhesion Testing: Field test coating application to substrates as follows:**
 - a. **Extent of Testing: Test completed and cured coatings as follows:**
 - 1) **Perform localized tests for completed installation over each substrate, including concrete and CMU block.**
 - 2) **Test Method: Test coating installation according to Method A, X-Cut Tape Test for coating systems greater than 5 mils, or Method B, Cross-Cut Tape Test for coatings less than 5 mils per ASTM D 3359.**
 - 3) **For locations with dissimilar substrates, verify adhesion to each substrate separately.**
 - b. **Record test results in a field-adhesion-test log. Include dates when coatings were installed, names of persons who installed coatings, test dates, test locations, whether coatings were primed, adhesion results.**
 - c. **Repair coating sections pulled from test area by applying new coating following same procedures used originally. Ensure that original coated surfaces are clean and that new coating contacts original coating.**
 - d. **Evaluation of Field-Adhesion Test Results: Coatings not evidencing adhesive failure from testing or noncompliance with other indicated requirements will be considered satisfactory. Remove coating installations that fail to adhere to substrates during testing or to comply with other requirements. Retest failed applications until test results prove coatings comply with indicated requirements.**

3.5 CLEANING AND PROTECTION

- A. At end of each workday, remove rubbish, empty cans, rags, and other discarded materials from Project site.
 - 1. Do not clean equipment with free-draining water and prevent solvents, thinners, cleaners, and other contaminants from entering into waterways, sanitary and storm drain systems, and ground.
 - 2. Dispose of contaminants in accordance with requirements of authorities having jurisdiction.
 - 3. Allow empty paint cans to dry before disposal.
 - 4. Collect waste paint by type and deliver to recycling or collection facility.
- B. After completing paint application, clean spattered surfaces. Remove spattered paints by washing, scraping, or other methods. Do not scratch or damage adjacent finished surfaces.
- C. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by Architect, and leave in an undamaged condition.
- D. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

3.6 EXTERIOR PAINTING SCHEDULE

A. Concrete, CMU, Nontraffic Surfaces:

1. Provide one of the following products:

- a. Conproco, M3P Overcoat
- b. Or Approved Equal

B. Exterior Gypsum Board Substrates:

1. Provide one of the following products:

- a. Primer: As per manufacturer's instructions.
- b. Topcoat:
 - 1) Sherwin Williams SuperPaint Exterior Acrylic Latex
 - 2) Or Approved Equal.

END OF SECTION

Bid No. 25-15 Addendum #1 - Appendix D
Revised Construction Drawings



Philadelphia Parking Authority

COSMETIC RESTORATION PROGRAM

THE AUTOPARK AT OLD CITY
PHILADELPHIA, PENNSYLVANIA
MAY 2025



ARCHITECT/ENGINEER:

THE DRAWINGS AND SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART THEREOF SHALL BE COPIED OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

Philadelphia Parking Authority

COSMETIC RESTORATION PROGRAM

The Autopark at Old City

Philadelphia, Pennsylvania

1	05/18/2025	ADDENDUM #1
	04/25/2025	ISSUED FOR BID
NO.	DATE	REVISIONS

DESIGN:	RM/TR
DRAWN:	AR/CD/AD/AS
CHECKED:	TR
SCALE:	AS SHOWN
DATE:	MAY 2025

DRAWING TITLE:
COVER SHEET AND
GENERAL NOTES

DRAWING No.

R-001

SCOPE OF WORK

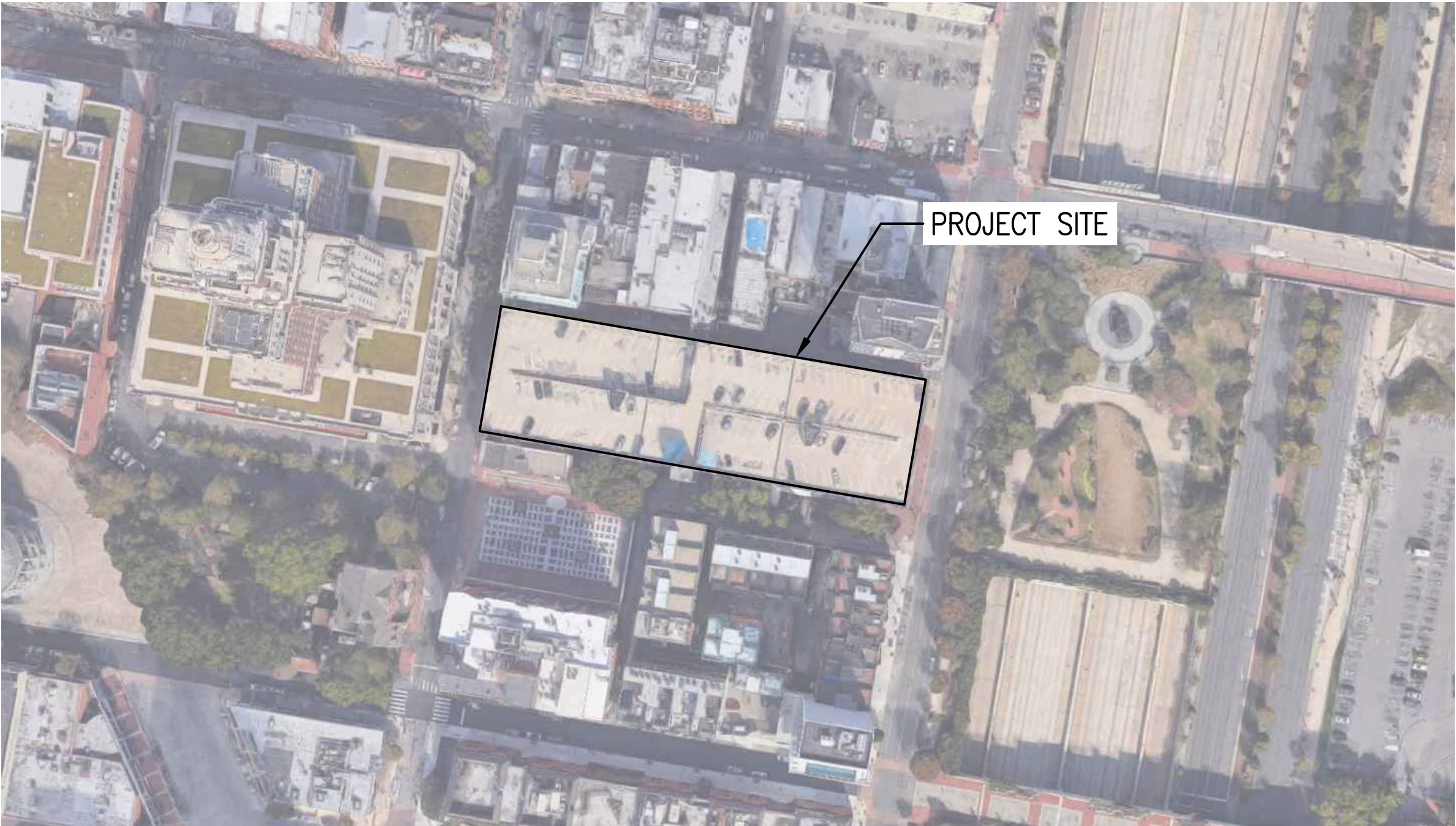
PPA Old City Garage - General Construction Scope of Work			
W.I. #	Description	Unit	Quantity
01 - General Conditions and Temporary Protections			
1.01	General Conditions	LS	1
1.02	Façade Access and Protections	LS	1
1.03	Bonds	LS	1
1.04	Permits	LS	1
03 - Concrete Repairs			
3.01	Vertical Concrete Repair at Column - Façade	SF	25
04 - Masonry Repairs			
4.01	Brick Rebuild	SF	75
4.02	Masonry Repointing	SF	1300
4.03	Site Paver Repairs	EA	150
07 - Water Management Repairs			
7.01	Rout and Seal Cracks - Façade	LF	200
7.02	Sealant Joint Replacement - Façade (Approx. 13900 LF)	LS	1
7.03	Window/Louver Perimeter Sealant Joint Replacement (Approx. 1400 LF)	LS	1
7.04	Window Sealant Joint Replacement - Metal to Metal (Approx. 300 LF)	LS	1
7.05	Window Glazing Seal Replacement (Approx. 3500 LF)	LS	1
08- Openings			
8.01	Curtain Wall Cover Strip Replacement	EA	1
09- Painting Enhancements			
9.01	Façade Painting (Approx. 17050 SF)	LS	1
9.02	Lobby Painting	LS	1
Lobby Renovations			
L-1	Lobby Soffit Replacement	SF	1050
L-2	Lobby Fan Removal and Replacement	EA	2
L-3	Lobby Brick Paving Seal	SF	675
Movie Theater Enhancements			
M-1	Ritz Theater Awning Vinyl Replacement	LS	1
Alternate Work Items			
Movie Theater Enhancements			
ALT-1	Ritz Theater Awning Replacement	LS	1
ALT-2	CMU Wall at Ground Level Painting (Approx. 1650 SF)	LS	1

PPA Old City Garage - Mechanical Scope of Work			
W.I. #	Description	Unit	Quantity
01 - General Conditions and Temporary Protections			
1.01	General Conditions	LS	1
1.02	Lobby Access and Protections	LS	1
1.03	Bonds	LS	1
1.04	Permits	LS	1
23 - HVAC Repairs			
23.01	Lobby Heating Replacement	LS	1

1



SITE PLAN / MAP



DRAWING INDEX

R-001 – COVER SHEET
R-002 – GENERAL NOTES
R-101 – SITE PROTECTION PLAN
R-201 – NORTH ELEVATION REPAIR PLAN
R-202 – SOUTH ELEVATION REPAIR PLAN
R-203 – EAST AND WEST ELEVATION REPAIR PLANS
R-301 – GROUND LEVEL PLAN
R-401 – CONCRETE & MASONRY REPAIR DETAILS
R-402 – WATERPROOFING REPAIR DETAILS
R-403 – LOBBY RENOV. & PAINTING DETAILS

GENERAL NOTES

A. GENERAL NOTES:

THE FOLLOWING NOTES SHALL APPLY UNLESS NOTED OTHERWISE ELSEWHERE IN CONTRACT DOCUMENTS:
(OWNER IS DEFINED AS THE PHILADELPHIA PARKING AUTHORITY)

- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH GOVERNING STATE CONSTRUCTION CODE AND ALL APPLICABLE CODES ADAPTED PURSUANT THERETO BY THE GOVERNING STATE DEPARTMENT OF COMMUNITY AFFAIRS. ALL CONSTRUCTION SHALL ALSO COMPLY WITH THE REQUIREMENTS OF LOCAL LAWS, REGULATIONS AND AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- DRAWINGS ARE INTENDED TO SHOW GENERAL ARRANGEMENTS, DESIGN AND EXTENT OF WORK ARE PARTLY DIAGRAMMATIC. AS SUCH, THEY ARE NOT INTENDED TO BE SCALED FOR ROUGHING-IN MEASUREMENTS OR TO SERVE AS SHOP DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO START OF WORK.
- DATA CONCERNING LOT SIZE, GROUND ELEVATIONS, PRESENT OBSTRUCTIONS ON OR NEAR THE SITE, LOCATIONS AND DEPTH OF SEWERS, CONDUITS, PIPES, WIRES, ETC., POSITION OF SIDEWALKS, CURBS, PAVEMENTS, ETC., AND NATURE OF GROUND AND SUBSURFACE CONDITIONS HAVE BEEN OBTAINED FROM SOURCES THE DESIGNER AND/OR OWNER BELIEVE RELIABLE, ALTHOUGH ACCURACY OF SUCH DATA IS NOT GUARANTEED.
- WHEN CONTRACT DOCUMENTS INCLUDE INFORMATION PERTAINING TO THE CONDITIONS OF THE FACILITY INCLUDING SURFACE OBSERVATIONS, MATERIAL TESTING AND OTHER PRELIMINARY INVESTIGATION, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION, CHARACTER, OR QUANTITY OF THE MATERIALS OR CONDITIONS, AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE OWNER/ENGINEER ASSUMES NO RESPONSIBILITY WHATSOEVER WITH RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION, AND THERE IS NO GUARANTEE, EITHER EXPRESSED OR IMPLIED, THAT THE INFORMATION/CONDITIONS INDICATED ARE REPRESENTATIVE OF THOSE EXISTING THROUGHOUT THE WORK, OR THAT UNANTICIPATED DEVELOPMENTS MAY NOT OCCUR AND/OR EXIST.
- UPON ENCOUNTERING CONDITIONS DIFFERING MATERIALLY FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER AND CONSTRUCTION INSPECTOR BEFORE SUCH CONDITIONS ARE DISTURBED. THE ENGINEER SHALL PROMPTLY INVESTIGATE SAID CONDITIONS AND REPORT TO THE OWNER, WITH A RECOMMENDED COURSE OF ACTION. IF CONDITIONS DO MATERIALLY DIFFER AND CAUSE AN INCREASE OR DECREASE IN CONTRACT COST OR TIME REQUIRED FOR COMPLETION OF ANY PORTION OF THE WORK, A CHANGE ORDER WILL BE INITIATED AS PER CONTRACT REQUIREMENTS.
- ONLY WORK INCLUDED IN THE CONTRACT DOCUMENTS IS AUTHORIZED, AND THE CONTRACTOR SHALL DO NO WORK OTHER THAN THAT DESCRIBED THEREIN OR IN ACCORDANCE WITH APPROPRIATELY AUTHORIZED AND APPROVED CHANGE ORDERS.
- ANYTHING SHOWN ON DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS OR VICE VERSA, AS WELL AS ANY INCIDENTAL WORK WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE PROJECT WITHIN THE LIMITS ESTABLISHED BY THE DRAWINGS AND SPECIFICATIONS, ALTHOUGH NOT SHOWN ON OR DESCRIBED THEREIN, SHALL BE PERFORMED BY THE CONTRACTOR AS A PART OF HIS CONTRACT.
- THE PLANS MAY BE SUPPLEMENTED BY STANDARD AND WORKING DRAWINGS AS MAY BE NECESSARY TO ADEQUATELY DESCRIBE THE WORK. IN THE EVENT, IN THE SOLE JUDGMENT OF THE ENGINEER, A CHANGE BECOMES NECESSARY IN THE BEST INTEREST OF THE PROJECT, DUE TO CIRCUMSTANCES NOT KNOWN AT THE TIME OF THE ORIGINAL CONDITION SURVEY AND/OR ARISING THEREAFTER, THE ENGINEER MAY ALTER THE PLANS AND THE SPECIFICATIONS AS MAY BE NECESSARY TO INCREASE OR DECREASE THE QUANTITIES OF WORK TO BE PERFORMED IN ACCORDANCE WITH SUCH CHANGES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEANS, METHODS AND EQUIPMENT FOR PROTECTING THE BUILDING, EQUIPMENT, MATERIALS AND PERSONNEL FROM FIRE DAMAGE THROUGHOUT THE COURSE OF HIS WORK. METHODS AND EQUIPMENT ARE SUBJECT TO APPROVAL BY THE LOCAL FIRE DEPARTMENT.
- THE CONTRACTOR SHALL COMPLY WITH ALL SAFETY AND HEALTH LAWS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (AS AMENDED), THE CONTRACTOR SHALL ALSO COMPLY WITH ALL THE MOST RECENT APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PUBLIC AGENCY AND/OR AUTHORITY HAVING JURISDICTION OVER THE PROJECT IN ORDER TO PROTECT PERSONS AND/OR PROPERTY FROM DAMAGE, INJURY OR LOSS. THE CONTRACTOR SHALL ALSO ASSURE THAT ALL HIS SUBCONTRACTORS CONFORM TO ALL HEALTH AND SAFETY LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING AND SAFETY NETTING BENEATH THE STRUCTURE REQUIRED FOR SAFETY AND PROPER EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL NOT ATTEMPT TO BRING ANY SPECIALIZED VEHICLE OR EQUIPMENT INTO THE FACILITY WITHOUT PROPER WRITTEN AUTHORIZATION FROM A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF PROJECT LOCATION. ANY SPECIALIZED VEHICLE OR EQUIPMENT TO BE USED INSIDE THE PARKING FACILITY SHALL BE APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE IN PREPARING SHOP DRAWINGS FOR ANY SPECIALIZED SHORING, BRACING AND SAFETY NETTING WHICH MIGHT BE REQUIRED AND/OR SPECIFIED IN THE CONTRACT DOCUMENTS. SHORING AND BRACING MUST BE DESIGNED AND STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE PROJECT IS LOCATED. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.

A. GENERAL NOTES – CONTINUED:

13. THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL SERVICES (ELECTRICAL AND MECHANICAL) WHICH MIGHT BE AFFECTED BY THE REPAIR WORK. THE CONTRACTOR SHALL MAKE ALL NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE PARKING GARAGE AND OTHER AREAS NOT IN THE CONTRACT AFFECTED BY THE WORK. UPON COMPLETION OF REPAIRS THE CONTRACTOR SHALL MAKE PERMANENT CONNECTIONS TO ALL SERVICES WHICH HAD BEEN TEMPORARILY MAINTAINED.
14. ALL EXISTING MATERIALS IN THE WORK AREA WHICH MAY CAUSE HEALTH AND/OR SAFETY HAZARDS TO THE OWNER, HIS EMPLOYEES, TENANTS OR THE CONTRACTOR AND HIS EMPLOYEES OR SUBCONTRACTORS DURING THE ENTIRE PERIOD OF CONSTRUCTION SHALL BE SAFELY REMOVED BY THE CONTRACTOR, AND PROPERLY DISPOSED OF IN A LEGAL FASHION.
15. ANY UTILITY LINES ABANDONED OR NO LONGER IN SERVICE THAT MIGHT INTERFERE WITH THE PROJECT SHALL BE IDENTIFIED BY THE CONTRACTOR AND REMOVED FROM THE REPAIR AREA BY THE TENANT, UNLESS NOTED OTHERWISE, PRIOR TO THE START OF WORK BY THE CONTRACTOR.

B. PHASING AND PROTECTION NOTES

1. MEANS OF EGRESS:
- a. ALL EXISTING MEANS OF EGRESS FOR TENANT OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
2. FIRE SAFETY:
- a. ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE WORK SITE ARE TO BE STORED IN AN ORDERLY FASHION.
- b. ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS CONTAINERS AND SUCH CONTAINERS ARE TO BE KEPT AWAY FROM HEAT.
- c. ALL FLAMMABLE MATERIALS ARE TO BE USED AND STORED IN ADEQUATELY VENTILATED SPACE, ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS ARE TO BE CONTROLLED BY OWNER/GENERAL CONTRACTOR.
- d. ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE IS EXPOSED CONDUIT.
- e. ALL ELECTRICAL POWER TO THE WORK SITE IS TO BE SHUT OFF AFTER WORKING HOURS.
3. DUST CONTROL:
- a. DEBRIS, DIRT AND DUST TO BE KEPT TO A MINIMUM AND CONFINED TO IMMEDIATE CONSTRUCTION AREA.
- b. CONTRACTOR TO PROVIDE AND INSTALL FULL HEIGHT REINFORCED POLY SHEETS TO COMPLETELY ENCLOSE CONSTRUCTION AREA TO CONTROL ANY AND ALL DUST CREATED DURING CONSTRUCTION ACTIVITIES. REINFORCED POLY SHEETS ARE TO BE SECURELY ATTACHED AT TOP AND BOTTOM TIGHT TO THE EXISTING STRUCTURE.
- c. DEBRIS, DIRT AND DUST TO BE CLEANED UP AND CLEANED FROM WORK SITE PERIODICALLY TO AVOID EXCESSIVE ACCUMULATION AS REQUIRED BY THE HOUSEKEEPING REGULATIONS OF THE SITE SAFETY MANUAL.
- d. PROVIDE AND INSTALL A FILTERED EXHAUST SYSTEM TO VENTILATE THE CONSTRUCTION AREA BUT TO PREVENT DUST PARTICLES FROM ENTERING THE SURROUNDING STRUCTURES.
- e. CONTRACTOR TO USE WET DEMO TECHNIQUES TO CONTROL DUST AT THE ROOF. CONTRACTOR RESPONSIBLE FOR PREVENTING DUST FROM CONSTRUCTION ACTIVITIES ENTERING SURROUNDING STRUCTURES.
- f. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ANY AND ALL CARS PARKED INSIDE THE CONSTRUCTION ZONE FROM DUST AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITIES BY PROVIDING AND INSTALLING PLASTIC WRAPPING TO COMPLETELY ENCLOSE THE CAR AND NECESSARY OVERHEAD PROTECTIONS.
4. NOISE CONTROL:
- a. CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 7:00 A.M. TO 5:00 P.M., MONDAY TO FRIDAY EXCEPT LEGAL HOLIDAYS.
- b. CONTRACTOR TO OBTAIN WRITTEN CONSENT OF ALL PARTIES AFFECTED BY HIS WORKING DURING OTHER THAN NORMAL WORKING HOURS.
- c. CONTRACTOR SHALL OBTAIN AFTER HOUR WORK PERMIT FROM THE DEPARTMENT OF BUILDINGS AND APPLICABLE AGENCIES IF WORKING OTHER THAN NORMAL WORKING HOURS.
5. PHASING OCCUPANCY AND USE
- a. CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL ELECTRICAL AND MECHANICAL SERVICES AND UTILITIES AFFECTED BY THE REPAIR WORK. MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE FACILITY OR OTHER AREAS (NOT IN CONTRACT) AFFECTED BY THE WORK. THE CONTRACTOR SHALL SUBMIT THE METHODS AND SCHEDULE OF CONNECTIONS FOR THE OWNER'S APPROVAL PRIOR TO COMMENCEMENT.
- b. CONSTRUCTION WORK WILL BE CONFINED TO AREAS OF WORK DETAILED ON THIS PLAN AND WILL NOT CREATE DUST, DEBRIS OR SUCH INCONVENIENCES TO OTHER RESIDENTIAL AREAS OF THE ADJACENT BUILDING.
- c. THERE WILL BE NO ACCESS OF THE WORK SITE AREAS BY TENANT/OWNER OR THE PUBLIC DURING CONSTRUCTION OPERATIONS UNTIL OTHERWISE ALLOWED BY ENGINEER AND OR BUILDING OWNER.
- d. WORK SEQUENCE SHALL BE COORDINATED WITH THE OWNER'S PLANT ENGINEER AND OPERATIONS REPRESENTATIVE.

C. SITE/WORK AREA PROTECTION NOTES

1. IF SWING SCAFFOLDING IS USED PROVIDE ROOF PROTECTION WITH 1/2" MEADOWS BOARD AND 1/2" PLYWOOD.
2. PROVIDE PROTECTIVE WALKWAY SCAFFOLDING AT GROUND LEVEL BELOW WORK AREAS. PROTECTIVE WALKWAY SCAFFOLDING SHALL COVER ALL BUILDING ENTRANCES & EXITS AND PEDESTRIAN SIDEWALKS.
3. CONTRACTOR TO PROTECT ALL EXISTING WALKWAY SURFACES FROM DAMAGE DURING THE WORK. ANY DAMAGES TO THE WALKWAY SURFACES MUST BE REPAIRED TO THE SATISFACTION OF THE OWNER WITHOUT ANY ADDITIONAL COSTS TO THE ORIGINAL CONTRACT SUM.
4. CONTRACTOR TO PROTECT ALL EXISTING MECHANICAL EQUIPMENT WITHIN OR SURROUNDING THE WORKING AREAS. THE CONTRACTOR SHALL PROTECT EQUIPMENT WITH PROTECTIVE SCAFFOLDING AND IN A MANNER ACCEPTABLE TO THE OWNER. ANY DAMAGES MUST BE REPAIRED TO THE SATISFACTION OF THE OWNER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ADEQUATE MEASURES FOR THE CONTROL OF DUST DURING ALL DEMOLITION AND CONSTRUCTION OPERATIONS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A CLEAN AND ORDERLY CONSTRUCTION SITE AND SHALL REMOVE ALL CONSTRUCTION WASTE AND DEBRIS AS REQUIRED.
7. WALKWAYS, BARRICADES AND FENCES
- A. DURING THE ERECTION, ALTERATION OR DEMOLITION OF ANY BUILDING, PROPER PROVISIONS SHALL BE MADE FOR THE PROTECTION OF EVERY PUBLIC SIDEWALK OR OTHER PUBLIC THOROUGHFARE.
9. CONSTRUCTION
- A. WHERE REQUIRED IN THIS SECTION FOR PROTECTION OF SIDEWALKS OR OTHER PUBLIC WAYS, SIDEWALK SHEDS, FENCES, BARRICADES AND APRONS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
- B. FENCES SHALL BE NOT LESS THAN SIX FEET HIGH OF SOLID CONSTRUCTION SHEATHED WITH ONE-INCH LUMBER OR OTHER APPROVED MATERIALS OF EQUAL STRENGTH.
- C. BARRICADES SHALL CONSIST OF SUBSTANTIAL RAILINGS OR OTHER BARRIERS WHICH WILL EFFECTIVELY PREVENT PUBLIC ACCESS TO THE BARRICADED AREA.
- D. CONTRACTOR SHALL PROVIDE OVERHEAD SIDEWALK PROTECTION (BRIDGING/SHEDS) AT EACH ENTRANCE & PEDESTRIAL WALKWAY, MINIMUM OF 15 FEET BEYOND ENTRANCE, OR AS REQUIRED BY LOCAL ORDINANCE OR CODE.
10. ROOF/FALL HAZARD
- A. GUARDS TO PREVENT PERSONS FROM FALLING SHALL BE PROVIDED AS REQUIRED BY ANSI.

D. SIDEWALK PROTECTION NOTES:

1. HEAVY-DUTY SIDEWALK SHEDS SHALL CONSIST OF A ROOF DECK EXTENDING OVER THE ENTIRE SIDEWALK, TOGETHER WITH ITS SUPPORTING STRUCTURAL FRAMEWORK. THE ROOF DECK SHALL BE CONSTRUCTED OF NOT LESS THAN TWO LAYERS OF TWO-INCH PLANKING OR OF OTHER APPROVED MATERIALS OF EQUAL STRENGTH AND SHALL BE DESIGNED TO SUPPORT A SUPERIMPOSED LOAD OF NOT LESS THAN 300 POUNDS PER SQUARE FOOT, AND SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN EIGHT FEET.
2. EVERY COVERED WALKWAY SHALL BE KEPT WELL-LIGHTED CONTINUOUSLY BETWEEN SUNSET AND SUNRISE AND SHALL BE MAINTAINED CLEAR OF DEBRIS, HOLES AND TRIP HAZARDS AND SHALL BE PROPERLY DRAINED TO PREVENT ACCUMULATION OF WATER. OBSTRUCTION LIGHTS AND DIAGONAL RED STRIPPING SHALL BE PROVIDED AS REQUIRED BY THE DEPARTMENT OF TRANSPORTATION ON ALL PORTIONS OF THE SIDEWALK SHED EXTENDING BEYOND THE CURB LINE.
3. SCAFFOLDING COMPONENTS, CONNECTIONS, ATTACHMENTS, BRACING & HARDWARE SHALL MEET OR EXCEED ALL OSHA, FEDERAL, STATE AND LOCAL CODES, LAWS AND REQUIREMENTS. THE SCAFFOLDING, AS SUPPLIED AND INSTALLED, SHALL BE ABLE TO SUPPORT A DESIGN LIVE LOAD OF 300 PSF ATOP ALL WORK PLATFORMS.
4. ALL HARDWARE (I.E. NAILS, BOLTS, U-BOLTS, WIRE, ETC.) SHALL BE GALVANIZED. ALL SCAFFOLDING COMPONENTS, INCLUDING SCAFFOLDING, SHALL BE BOLTED, NAILED, WIRED OR OTHERWISE SOLIDLY CONNECTED.
5. THE SCAFFOLDING SHALL BE ATTACHED TO THE BUILDING, AS REQUIRED TO MAINTAIN LATERAL STABILITY AND PRECLUDE SWAY. ANY TIE-BACK ANCHOR LOCATION SHALL BE SECURED INTO A CONCRETE COLUMN. CONTRACTOR SHALL REPAIR ALL ANCHOR LOCATION AFTER REMOVAL OF SCAFFOLDING.
6. ALL WORKING SCAFFOLDING SHALL HAVE WOOD PLANK PLATFORM OR EQUIVALENT. THE EXTERIOR PERIMETER OF ALL PROTECTIVE SCAFFOLDING PLATFORMS SHALL HAVE 4' HIGH BRACED 2X4 WOOD PARAPETS WITH 3/4" PLYWOOD PARAPETS, PAINTED BLACK PER OWNER'S REQUIREMENTS.
7. THE SIDE FACING THE CONSTRUCTION OR DEMOLITION WORK SHALL BE FULLY ENCLOSED AND THE STREET SIDE, IF EXTENDING INTO THE STREET, SHALL BE ENCLOSED WITH A SPLASH GUARD AND RAILING NOT LESS THAN FOUR FEET HIGH.
8. TEMPORARY LIGHTING, 100 WATT BULB (PROTECTED) SHALL BE ATTACHED TO THE UNDERSIDE OF THE WORK PLATFORM AT 8' C/C (MAX.) WITH 12 GAGE EXTERIOR ELECTRICAL CABLE FOR EACH AISLE.
9. CONTRACTOR IS COMPLETELY AND SOLELY RESPONSIBLE FOR DETERMINING FIELD DIMENSIONS AND ASSOCIATED SCAFFOLDING QUANTITIES. CONTRACTOR SHALL SUBMIT PROTECTIVE SCAFFOLDING SHOP DRAWINGS, SIGNED AND SEALED BY A PA PROFESSIONAL ENGINEER, FOR REVIEW AND ACCEPTANCE PRIOR TO THE START OF SCAFFOLDING ERECTION.
10. PROVIDE WATER CONTAINMENT DURING CLEANING OPERATION.
11. SUMMARY REQUIREMENTS
- A. SIDEWALK PROTECTION TO HAVE 300 PSF LIVE LOAD CAPACITY, MINIMUM.
- B. PARAPET WALL TO BE PAINTED.
- C. TOE BOARD TIGHT TO BUILDING TO SEAL BRIDGE DECK.
- D. PLYWOOD DECKING OR EQUIVALENT WALKING SURFACE.
- E. METAL DECK TO SHED WATER. PROVIDE METAL DECK OR MEMBRANE TO SHED WATER.
- F. TIE DOWNS AS REQUIRED FOR WIND LOAD.
- G. OUTRIGGERS WITH NETTING.
- H. COVER ENTIRE WIDTH OF SIDEWALK, OR BARRICADE SIDEWALK BEYOND SHED TO PREVENT TRAFFIC.

E. SWINGSTAGE EQUIPMENT

1. PROPER SELECTION
- A. SCAFFOLDS SHALL BE FURNISHED AND ERECTED IN ACCORDANCE WITH APPROPRIATE ANSI STANDARDS.
- B. SELECT PLANK OF PROPER DUTY RATING TO SUPPORT COMBINED WEIGHT OF USER AND MATERIALS, 250 LB. FOR 1-MAN UNITS, 500 LB. FOR 2-MAN UNITS AND 750 LB. FOR 3-MAN UNITS. DO NOT OVERLOAD. NO MORE THAN RATED NUMBER OF MEN PERMITTED ON PLANK.
- C. USE PROPER SIZE PLANK. DO NOT USE TEMPORARY SUPPORTS OR EXTENSIONS.
2. INSPECTION BEFORE EACH USE
- A. INSPECT THOROUGHLY FOR MISSING OR DAMAGED COMPONENTS AND LOOSE FASTENERS.
- B. DAMAGED OR WEAKENED PLANKS SHALL BE IMMEDIATELY REMOVED FROM SERVICE AND SHALL NOT BE USED UNTIL REPAIRS HAVE BEEN MADE. NEVER MAKE TEMPORARY REPAIRS.
- C. CLEAN PLANK OF ALL FOREIGN MATERIAL (WET PAINT, MUD, SNOW, GREASE, OIL, ETC.)
- D. DESTROY IF EXPOSED TO FIRE OR CHEMICALS.
3. CONSIDER BEFORE EACH USE
- A. METAL CONDUCTS ELECTRICITY. KEEP AWAY FROM ELECTRICAL CIRCUITS.
- B. USE PLANK ONLY AS OUTLINED IN INSTRUCTIONS.
- C. ACIDS AND OTHER CORROSIVE SUBSTANCES MAY SEVERELY AFFECT THE STRENGTH OF THIS PRODUCT. CONSULT MANUFACTURER FOR USE IN CHEMICAL OR OTHER CORROSIVE ENVIRONMENTS.
- D. OVERHEAD PROTECTION MUST BE PROVIDED WHENEVER AN OVER-HEAD HAZARD EXISTS.
- E. DO NOT USE IN HIGH WINDS OR DURING STORM.
- F. DO NOT USE IN POOR HEALTH, IF TAKING DRUGS OR ALCOHOLIC BEVERAGES, OR IF PHYSICALLY HANDICAPPED.
- G. KEEP SHOES CLEAN. LEATHER SOLES SHOULD NOT BE WORN.
- H. NEVER LEAVE SCAFFOLD SET UP AND UNATTENDED.
- I. PAY CLOSE ATTENTION TO WHAT YOU ARE DOING.
4. PROPER SET UP AND USE
- A. ONLY TRAINED PERSONNEL SHALL ERECT AND USE SCAFFOLD.
- B. SET UP LEVEL ON SUPPORTS PROVIDING A MINIMUM OF 12" AND A MAXIMUM OF 18" OVERHANG AT EACH END. ALWAYS TIE OFF TO BUILDING.
- C. USE GUARDRAILS, MIDRAILS, AND TOEBOARDS ON OPEN ENDS AND SIDES WHEN PLANK IS:
- * 6" OR HIGHER FOR CONSTRUCTION APPLICATIONS
- * 10' OR HIGHER FOR OTHER APPLICATIONS.
- D. GUARDRAILS SHALL BE A MINIMUM OF 36" AND A MAXIMUM OF 42" HIGH AND INCLUDE A MIDRAIL. GUARDRAILS SHALL BE SUPPORTED ON 10' MAXIMUM INTERVALS AND EXTEND THE FULL PLANK LENGTH.
- E. USE SAFETY SCREENING OF 19 GA. U.S. STANDARD WIRE 1/2" MESH OR EQUIVALENT ON OPEN SIDES AND ENDS WHEN OVER WORK OR WALK AREA.
- F. BODY BELTS MUST BE WORN AND ATTACHED TO EITHER A SEPARATE DROP LINE FROM STRUCTURE OR STATIC LINE PROPERLY AFFIXED TO SCAFFOLD.
- G. MAKE SURE LADDER AND SCAFFOLD ARE RESTRAINED FROM MOVEMENT WHEN ACCESSING SCAFFOLD.
- H. NEVER USE THE PORTION WHICH EXTENDS BEYOND THE SUPPORTS.
- I. DO NOT ALLOW UNSTABLE OR LOOSE OBJECTS TO ACCUMULATE ON WORK SURFACE.
- J. DO NOT USE LADDERS OR OTHER DEVICES ON PLANK TO GAIN ADDITIONAL HEIGHT.
- K. THIS PRODUCT IS NOT INTENDED TO CANTILEVER APPLICATIONS.
- L. USE ONLY 250 OR 300 LB. DUTY RATED LADDERS WHEN USING PLANKS OR PLATFORMS WITH LADDER JACKS. FABRICATED PLANKS INTENDED FOR USE WITH LADDER JACKS SHALL NOT BE LESS THAN 12 INCHES WIDE.
5. PROPER CARE AND STORAGE
- A. HAND ON RACKS DESIGNED TO SUPPORT PLANKS.
- B. DO NOT STORE MATERIALS ON PLANK.
- C. NEVER DROP OR APPLY AN IMPACT LOAD TO PLANK.
- D. SECURELY SUPPORT PLANKS IN TRANSIT.

ABBREVIATIONS AND DEFINITIONS

1. APPROX. = APPROXIMATELY
2. C.I.P. = CAST IN PLACE
3. C. J. = CONSTRUCTION JOINT/CONTROL JOINT
4. CLR. = CLEARANCE
5. COL. = COLUMN
6. CONC. = CONCRETE
7. DET. = DETAIL
8. EA. = EACH
9. E.J. = EXPANSION JOINT
10. INC. = INCIDENTAL
11. L.F. = LINEAR FOOT
12. L.S. = LUMP SUM
13. MAX. = MAXIMUM
14. MIN. = MINIMUM
15. N/A. = NOT APPLICABLE
16. O.C. = ON CENTER
17. REINF. = REINFORCEMENT
18. S.F. = SQUARE FOOT
19. SIM. = SIMILAR
20. S.O.G. = SLAB ON GRADE
21. SPEC. = SPECIFICATION
22. TYP. = TYPICAL
23. W.I. = WORK ITEM
24. W.W.R. = WELDED WIRE REINFORCEMENT
25. FURNISH = THE TERM "FURNISH" MEANS TO SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS.
26. INSTALL = DESCRIBES OPERATIONS AT THE PROJECT SITE INCLUDING THE ACTUAL UNLOADING, TEMPORARY STORAGE, UNPACKING, ASSEMBLING, ERECTING, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS.
27. PROVIDE = TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE.
28. REPLACE = TO REMOVE EXISTING AND PROVIDE NEW ACCORDING TO SPECIFICATIONS
29. REINSTALL = TO TEMPORARILY STORE AS EXISTING AND REINSTALL SAME. REINSTALL MAY REQUIRE THAT INCIDENTALS BE REPLACED



ARCHITECT/ENGINEER:

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Philadelphia Parking Authority
COSMETIC RESTORATION PROGRAM
The Autopark at Old City
Philadelphia, Pennsylvania

1	05/18/2025	ADDENDUM #1
	04/25/2025	ISSUED FOR BID
NO.	DATE	REVISIONS

DESIGN:	RM/TR
DRAWN:	AR/CD/AD/AS
CHECKED:	TR
SCALE:	AS SHOWN
DATE:	MAY 2025

DRAWING TITLE:
GENERAL NOTES
(CONT.)

DRAWING No.

R-002

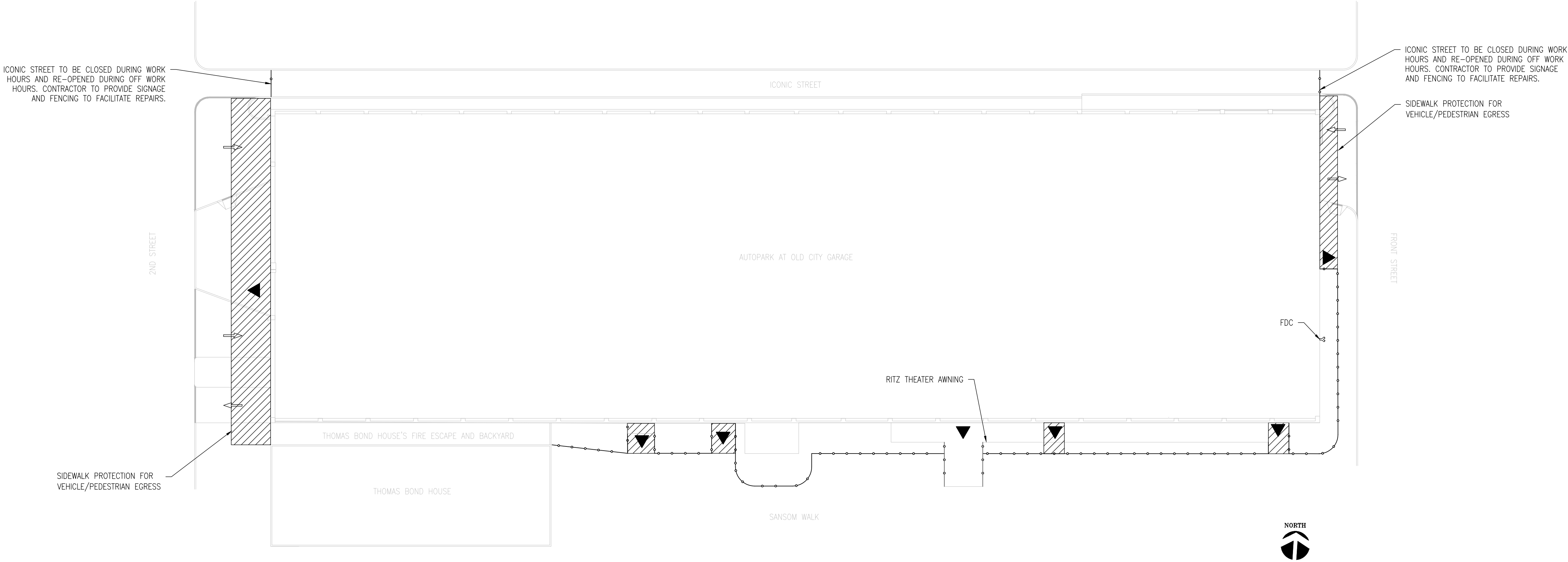
CAUTION

THE CONCRETE STRUCTURE HAS POST--TENSIONING TENDONS. THESE TENDONS ARE NEAR THE CONCRETE SURFACE IN THE SLAB AND BEAMS AT SPALLS AND DELAMINATIONS. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN SAW--CUTTING SO AS NOT TO DAMAGE EXISTING TENDONS OR TENDON SHEATHS. TENDONS MAY BREAK WITH EXPLOSIVE FORCE WHEN CUT.

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Philadelphia, Pennsylvania



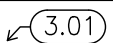
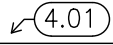
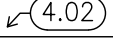
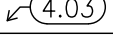
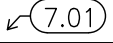
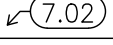
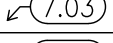
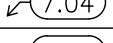
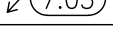
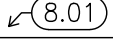
LEGEND	
	BUILDING EGRESS
	CHAIN LINK CONSTRUCTION FENCING
	OVERHEAD PROTECTION

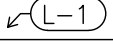
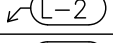
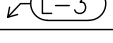
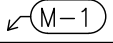
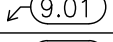
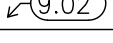
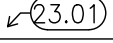

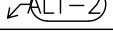
NOTES:

- CONTRACTOR TO PROVIDE PERIMETER SITE PROTECTIONS AT ALL WORK LOCATIONS AS REQUIRED.
- CONTRACTOR TO CONFIRM ALL EGRESS LOCATIONS AND PROVIDE OVERHEAD PROTECTION AS REQUIRED.
- CONTRACTOR/OWNER SHALL COORDINATE WITH THE THOMAS BOND HOUSE TO ARRANGE ACCESS TO THE SOUTH FACADE OF THE GARAGE ADJACENT TO THE THOMAS BOND HOUSE.
- CONTRACTOR TO MAINTAIN ACCESS TO FDC AT ALL TIMES

1 SITE PROTECTION PLAN

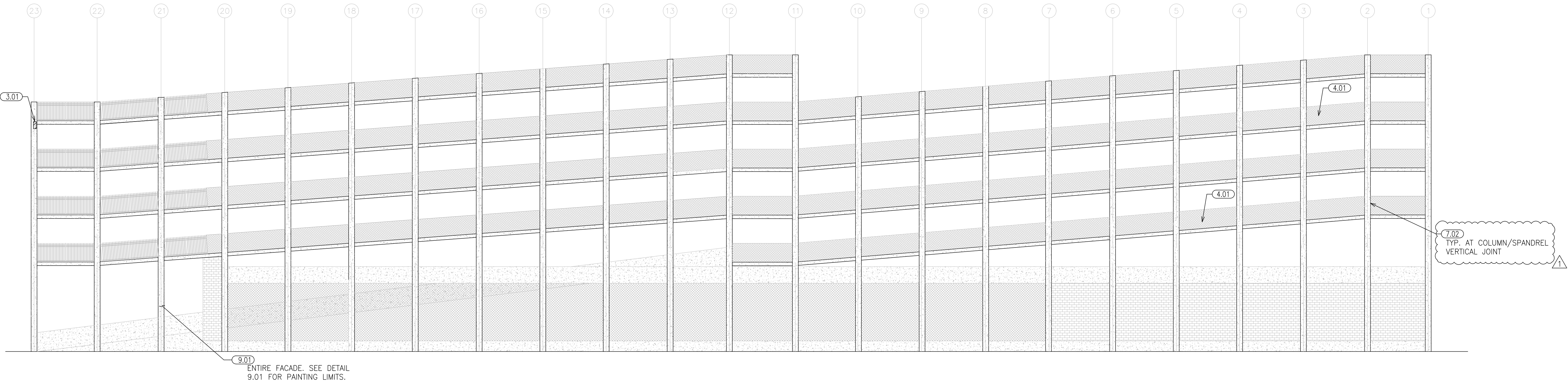
SCALE: 1/32" = 1'

REPAIR LEGEND			
SYMBOL	DESCRIPTION	DETAIL / SPEC	WORK ITEM #
03 - CONCRETE REPAIRS			
	VERTICAL CONCRETE REPAIR AT COLUMN - FAÇADE	3.01/R-401	3.01
04 - MASONRY REPAIRS			
	BRICK REBUILD	4.01/R-401	4.01
	MASONRY REPOINTING	4.02/R-401	4.02
	SITE PAVER REPAIRS	4.03/R-401	4.03
07 - WATER MANAGEMENT REPAIRS			
	ROUT AND SEAL CRACKS - FAÇADE	7.01/R-402	7.01
	SEALANT JOINT REPLACEMENT - FAÇADE	7.02/R-402	7.02
	WINDOW/LOUVER PERIMETER SEALANT JOINT REPLACEMENT	7.03/R-402	7.03
	WINDOW SEALANT JOINT REPLACEMENT - METAL TO METAL	7.04/5/R-402	7.04
	WINDOW GLAZING SEAL REPLACEMENT	7.04/5/R-402	7.05
08 - OPENINGS			
	CURTAIN WALL COVER STRIP COVER REPLACEMENT	8.01/R-402	8.01

LOBBY RENOVATIONS			
	LOBBY SOFFIT REPLACEMENT	L/9.02/R-403	L-1
	LOBBY FAN REMOVAL	L/9.02/R-403	L-2
	LOBBY BRICK PAVING SEAL	L/9.02/R-403	L-3
MOVIE THEATER ENHANCEMENTS			
	RITZ THEATER AWNING VINYL REPLACEMENT	00 41 00	M-1
PAINTING ENHANCEMENTS			
	FAÇADE PAINTING	9.01/R-403	9.01
	LOBBY PAINTING	L/9.02/R-403	9.02
HVAC REPAIRS			
	LOBBY HEATING REPLACEMENT	23.01/R-403	23.01
ALTERNATES			
	RITZ THEATER AWNING REPLACEMENT	00 41 00	ALT-1
	CMU WALL AT GROUND LEVEL PAINTING (APPROX. 1650 SF)	09 91 00	ALT -2

GENERAL NOTES:

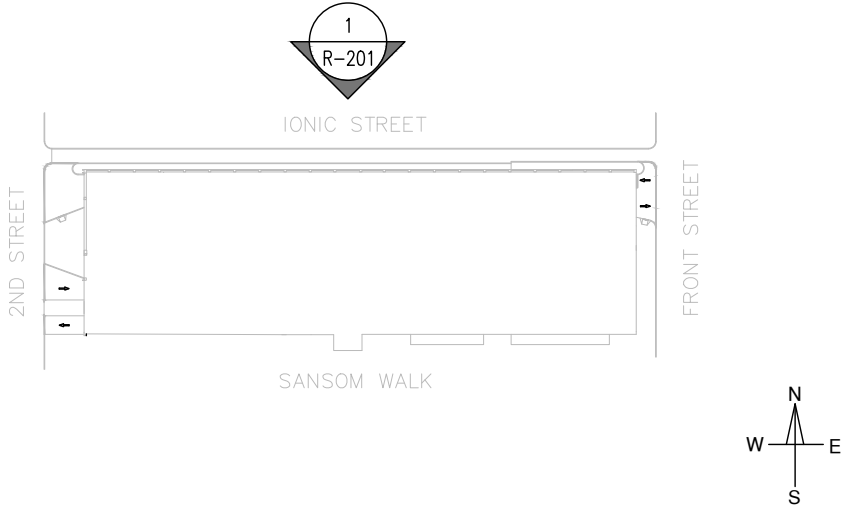
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- CONTRACTOR TO TEMPORARILY RELOCATED EXISTING FENCE POLES AD REQUIRED TO IMPLEMENT REPAIRS.



1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

CAUTION

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ARCHITECT/ENGINEER:

Philadelphia Parking Authority
COSMETIC RESTORATION PROGRAM
The Autopark at Old City
Philadelphia, Pennsylvania

1	05/19/2025	ADDENDUM #1
	04/25/2025	ISSUED FOR BID
NO.	DATE	REVISIONS

DESIGN:	RM/TR
DRAWN:	AR/CD/AD/AS
CHECKED:	TR
SCALE:	AS SHOWN
DATE:	MAY 2025

DRAWING TITLE:

NORTH ELEVATION
REPAIR PLAN

DRAWING No.

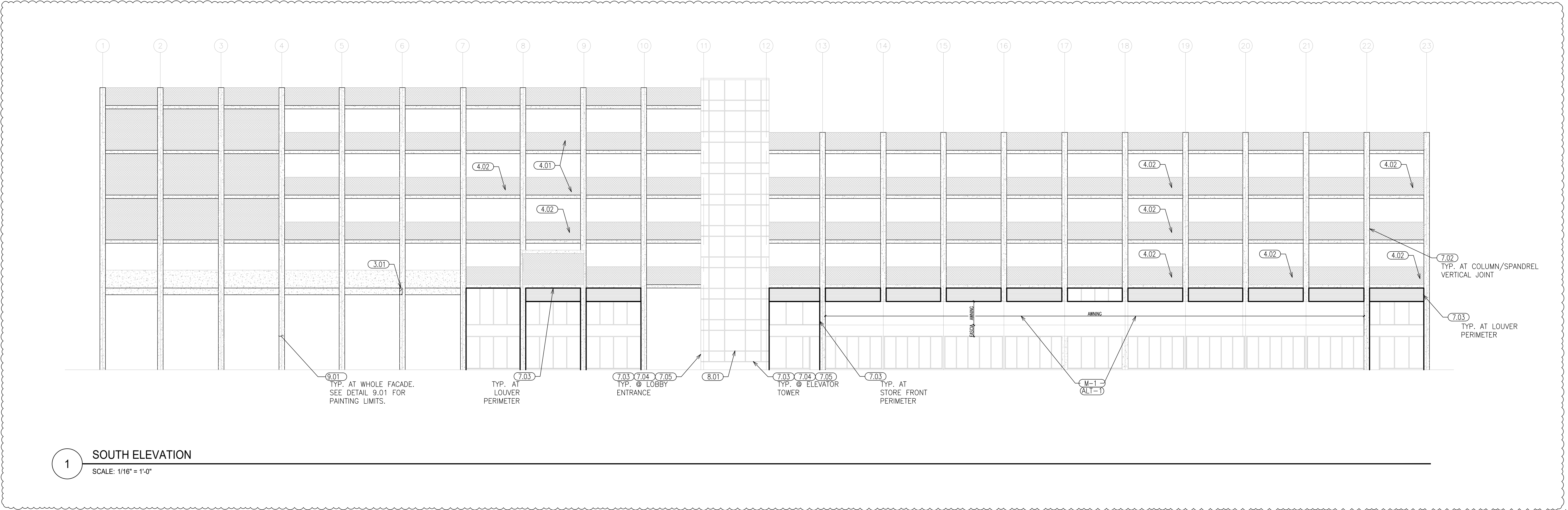
R-201

REPAIR LEGEND			
SYMBOL	DESCRIPTION	DETAIL / SPEC	WORK ITEM #
03 - CONCRETE REPAIRS			
	VERTICAL CONCRETE REPAIR AT COLUMN - FAÇADE	3.01/R-401	3.01
04 - MASONRY REPAIRS			
	BRICK REBUILD	4.01/R-401	4.01
	MASONRY REPOINTING	4.02/R-401	4.02
	SITE PAVER REPAIRS	4.03/R-401	4.03
07 - WATER MANAGEMENT REPAIRS			
	ROUT AND SEAL CRACKS - FAÇADE	7.01/R-402	7.01
	SEALANT JOINT REPLACEMENT - FAÇADE	7.02/R-402	7.02
	WINDOW/LOUVER PERIMETER SEALANT JOINT REPLACEMENT	7.03/R-402	7.03
	WINDOW SEALANT JOINT REPLACEMENT - METAL TO METAL	7.04/5/R-402	7.04
	WINDOW GLAZING SEAL REPLACEMENT	7.04/5/R-402	7.05
08 - OPENINGS			
	CURTAIN WALL COVER STRIP COVER REPLACEMENT	8.01/R-402	8.01

LOBBY RENOVATIONS			
	LOBBY SOFFIT REPLACEMENT	L/9.02/R-403	L-1
	LOBBY FAN REMOVAL	L/9.02/R-403	L-2
	LOBBY BRICK PAVING SEAL	L/9.02/R-403	L-3
MOVIE THEATER ENHANCEMENTS			
	RITZ THEATER AWNING VINYL REPLACEMENT	00 41 00	M-1
PAINTING ENHANCEMENTS			
	FACADE PAINTING	9.01/R-403	9.01
	LOBBY PAINTING	L/9.02/R-403	9.02
HVAC REPAIRS			
	LOBBY HEATING REPLACEMENT	23.01/R-403	23.01
ALTERNATES			
	RITZ THEATER AWNING REPLACEMENT	00 41 00	ALT-1
	CMU WALL AT GROUND LEVEL PAINTING (APPROX. 1650 SF)	09 91 00	ALT -2

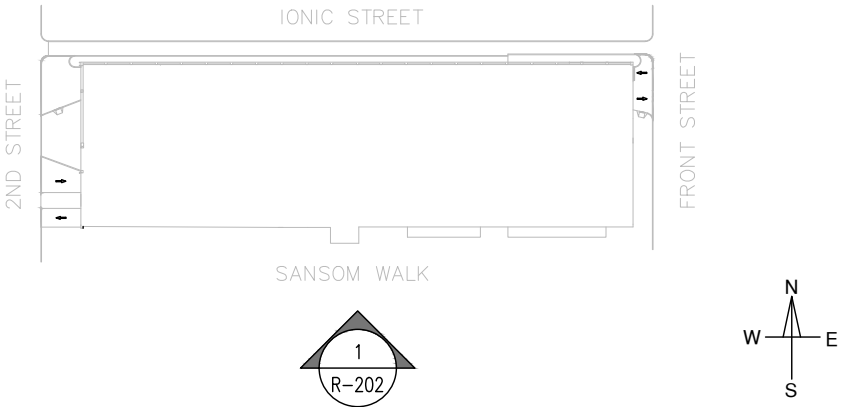
GENERAL NOTES:

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Philadelphia Parking Authority
COSMETIC RESTORATION PROGRAM
The Autopark at Old City
Philadelphia, Pennsylvania

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1	05/19/2025	ADDENDUM #1
	04/25/2025	ISSUED FOR BID
NO.	DATE	REVISIONS

DESIGN:	RM/TR
DRAWN:	AR/CD/AD/AS
CHECKED:	TR
SCALE:	AS SHOWN
DATE:	MAY 2025

DRAWING TITLE:
**SOUTH ELEVATION
REPAIR PLAN**

DRAWING No.

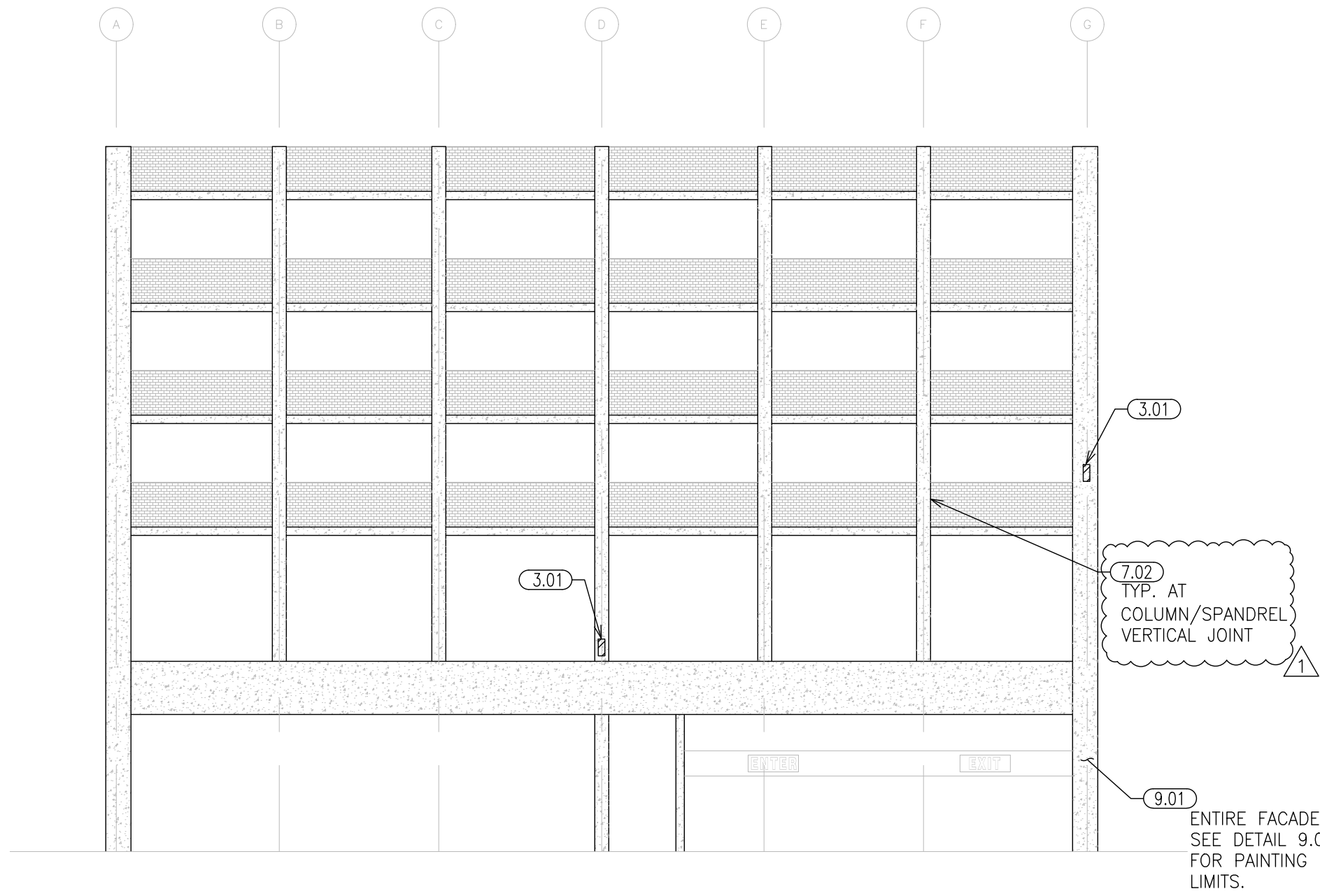
R-202

REPAIR LEGEND			
SYMBOL	DESCRIPTION	DETAIL / SPEC	WORK ITEM #
03 - CONCRETE REPAIRS			
↙(3.01)	VERTICAL CONCRETE REPAIR AT COLUMN - FAÇADE	3.01/R-401	3.01
04 - MASONRY REPAIRS			
↙(4.01)	BRICK REBUILD	4.01/R-401	4.01
↙(4.02)	MASONRY REPOINTING	4.02/R-401	4.02
↙(4.03)	SITE PAVER REPAIRS	4.03/R-401	4.03
07 - WATER MANAGEMENT REPAIRS			
↙(7.01)	ROUT AND SEAL CRACKS - FAÇADE	7.01/R-402	7.01
↙(7.02)	SEALANT JOINT REPLACEMENT - FAÇADE	7.02/R-402	7.02
↙(7.03)	WINDOW/LOUVER PERIMETER SEALANT JOINT REPLACEMENT	7.03/R-402	7.03
↙(7.04)	WINDOW SEALANT JOINT REPLACEMENT - METAL TO METAL	7.04/5/R-402	7.04
↙(7.05)	WINDOW GLAZING SEAL REPLACEMENT	7.04/5/R-402	7.05
08 - OPENINGS			
↙(8.01)	CURTAIN WALL COVER STRIP COVER REPLACEMENT	8.01/R-402	8.01

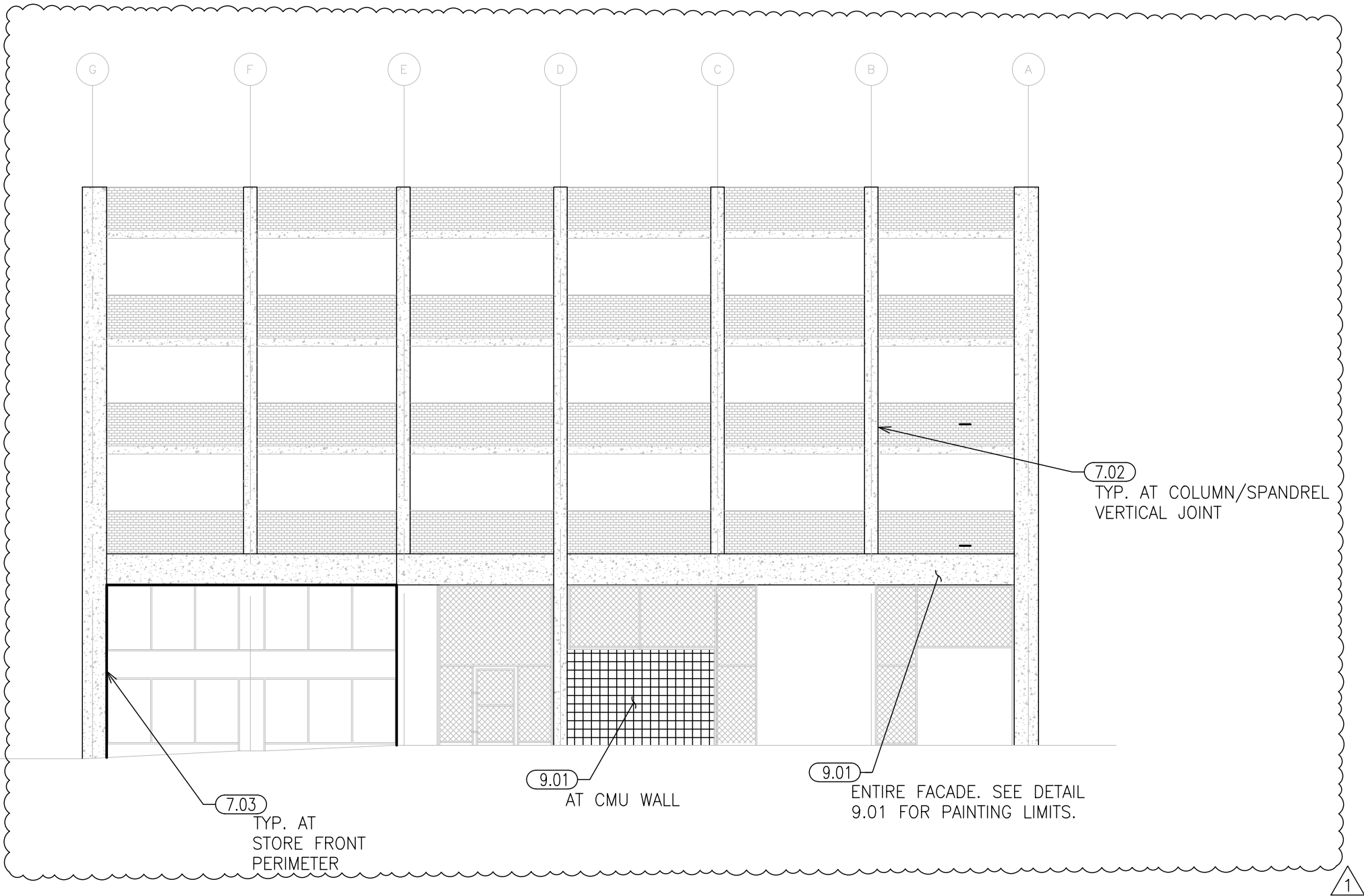
LOBBY RENOVATIONS			
↙(L-1)	LOBBY SOFFIT REPLACEMENT	L/9.02/R-403	L-1
↙(L-2)	LOBBY FAN REMOVAL	L/9.02/R-403	L-2
↙(L-3)	LOBBY BRICK PAVING SEAL	L/9.02/R-403	L-3
MOVIE THEATER ENHANCEMENTS			
↙(M-1)	RITZ THEATER AWNING VINYL REPLACEMENT	00 41 00	M-1
PAINTING ENHANCEMENTS			
↙(9.01)	FAÇADE PAINTING	9.01/R-403	9.01
↙(9.02)	LOBBY PAINTING	L/9.02/R-403	9.02
HVAC REPAIRS			
↙(23.01)	LOBBY HEATING REPLACEMENT	23.01/R-403	23.01
ALTERNATES			
↙(ALT-1)	RITZ THEATER AWNING REPLACEMENT	00 41 00	ALT-1
↙(ALT-2)	CMU WALL AT GROUND LEVEL PAINTING (APPROX. 1650 SF)	09 91 00	ALT -2

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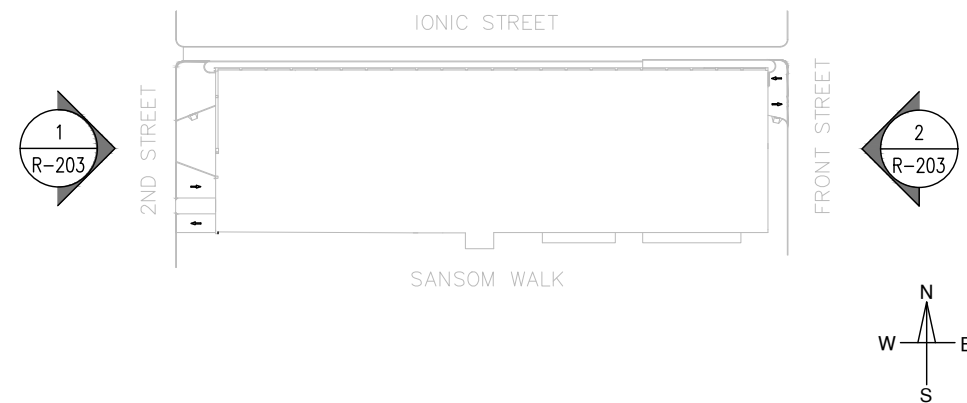
1 WEST ELEVATION
SCALE: 1/16" = 1'-0"



2 EAST ELEVATION
SCALE: 1/16" = 1'-0"

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The Autopark at Old City
Philadelphia, Pennsylvania

1	05/19/2025	ADDENDUM #1
	04/25/2025	ISSUED FOR BID
NO.	DATE	REVISIONS
DESIGN: RM/TR		
DRAWN: AR/CD/AD/AS		
CHECKED: TR		
SCALE: AS SHOWN		
DATE: MAY 2025		
DRAWING TITLE: WEST AND EAST ELEVATION REPAIR PLANS		

DRAWING No.

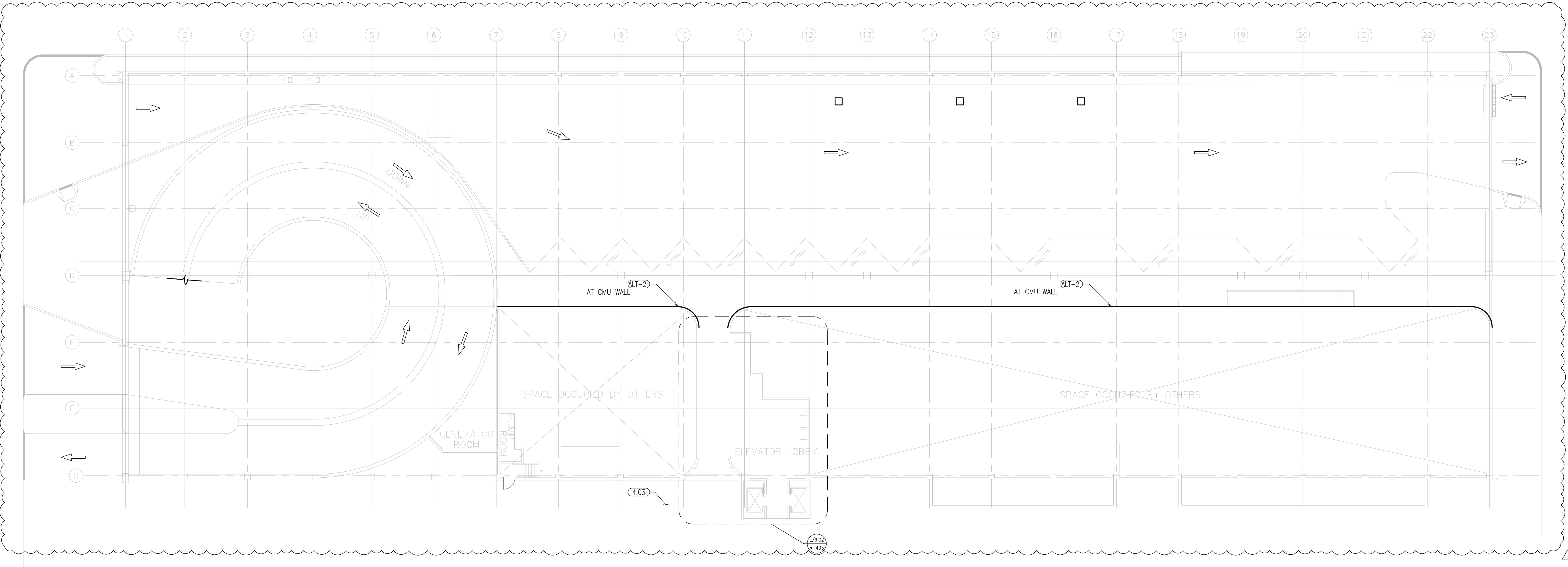
R-203

REPAIR LEGEND			
SYMBOL	DESCRIPTION	DETAIL / SPEC	WORK ITEM #
03 -- CONCRETE REPAIRS			
	VERTICAL CONCRETE REPAIR AT COLUMN -- FAÇADE	3.01/R-401	3.01
04 -- MASONRY REPAIRS			
	BRICK REBUILD	4.01/R-401	4.01
	MASONRY REPOINTING	4.02/R-401	4.02
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07 -- WATER MANAGEMENT REPAIRS			
	ROUT AND SEAL CRACKS -- FAÇADE	7.01/R-402	7.01
	SEALANT JOINT REPLACEMENT -- FAÇADE	7.02/R-402	7.02
	WINDOW/LOUVER PERIMETER SEALANT JOINT REPLACEMENT	7.03/R-402	7.03
	WINDOW SEALANT JOINT REPLACEMENT -- METAL TO METAL	7.04/5/R-402	7.04
	WINDOW GLAZING SEAL REPLACEMENT	7.04/5/R-402	7.05
08 -- OPENINGS			
	CURTAIN WALL COVER STRIP COVER REPLACEMENT	8.01/R-402	8.01

LOBBY RENOVATIONS			
	LOBBY SOFFIT REPLACEMENT	L/9.02/R-403	L-1
	LOBBY FAN REMOVAL	L/9.02/R-403	L-2
	LOBBY BRICK PAVING SEAL	L/9.02/R-403	L-3
MOVIE THEATER ENHANCEMENTS			
	RITZ THEATER AWNING VINYL REPLACEMENT	00 41 00	M-1
PAINTING ENHANCEMENTS			
	FAÇADE PAINTING	9.01/R-403	9.01
	LOBBY PAINTING	L/9.02/R-403	9.02
HVAC REPAIRS			
	LOBBY HEATING REPLACEMENT	23.01/R-403	23.01
ALTERNATES			
	RITZ THEATER AWNING REPLACEMENT	00 41 00	ALT-1
	CMU WALL AT GROUND LEVEL PAINTING (APPROX. 1650 SF)	09 91 00	ALT-2

GENERAL NOTES:

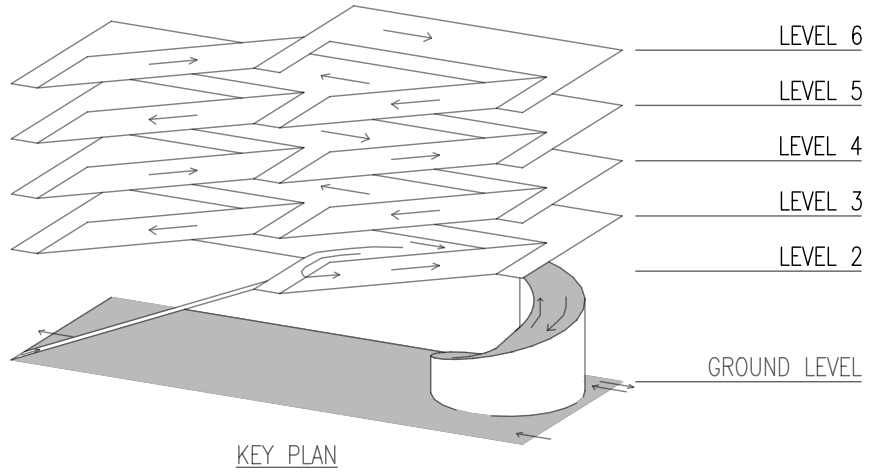
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1 GROUND LEVEL PLAN
SCALE: 1/16" = 1'-0"

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1	05/18/2025	ADDENDUM #1
	04/25/2025	ISSUED FOR BID
NO.	DATE	REVISIONS

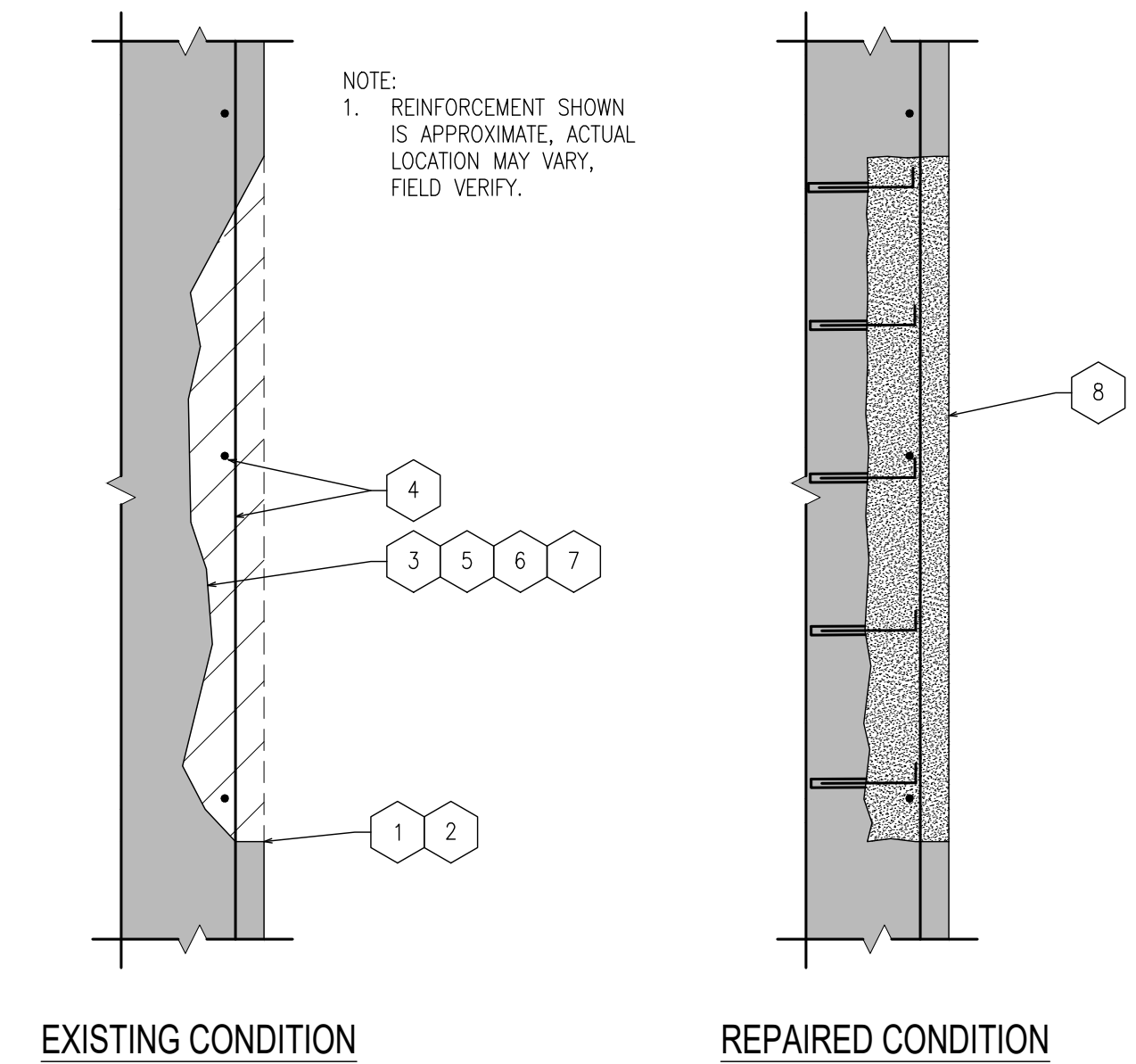
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CHECKED:	TR
SCALE:	AS SHOWN
DATE:	MAY 2025

DRAWING TITLE:

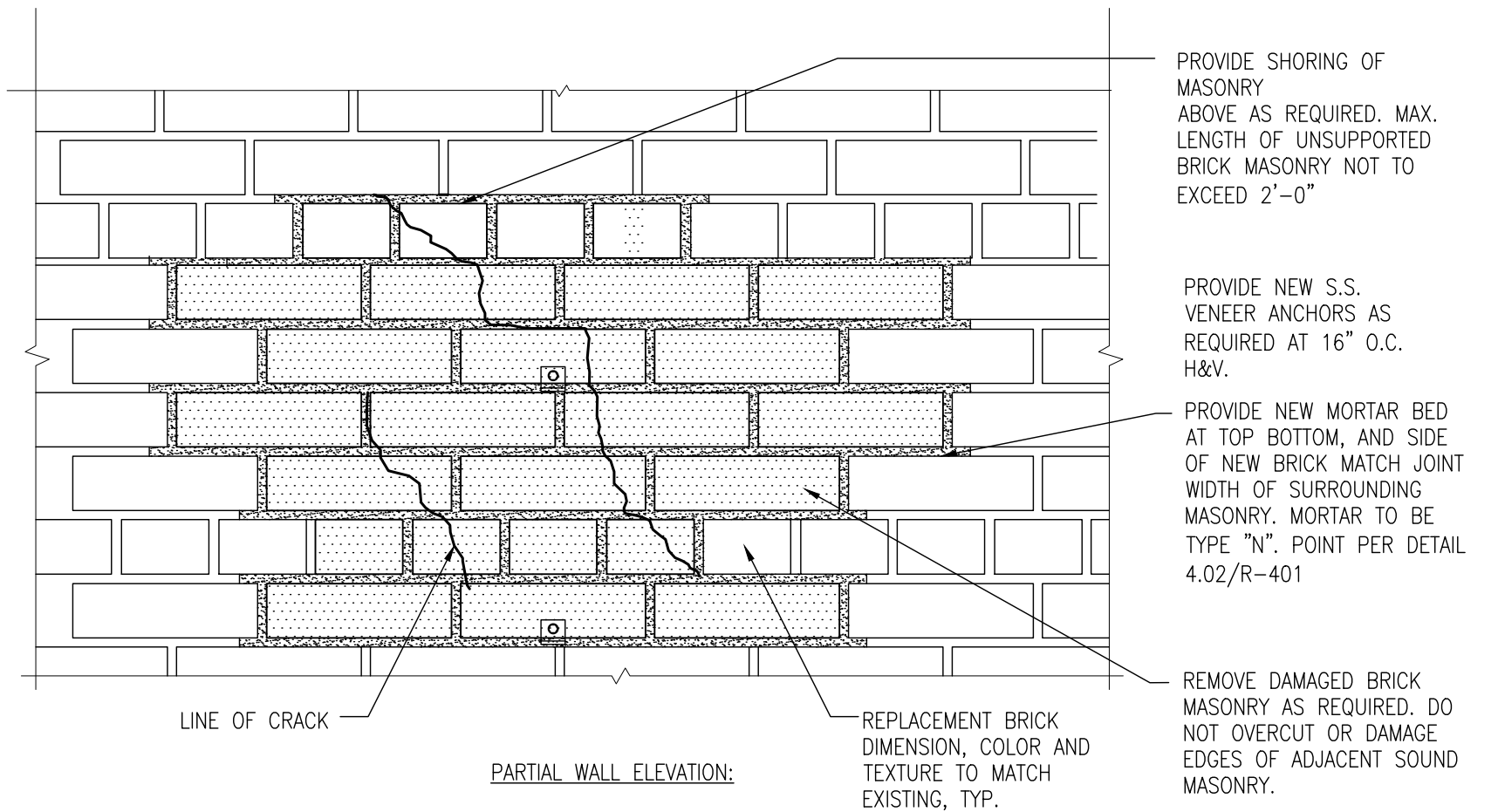
GROUND LEVEL PLAN

DRAWING No.

R-301



- REPAIR PROCEDURE:
1. DETERMINE EXACT EXTENTS OF REPAIR AREA WITH ENGINEER IN THE FIELD. CONTRACTOR TO SOUND PERIMETER OF REPAIR AREA TO CONFIRM EXTENTS OF DELAMINATION.
 2. SAW CUT PERIMETER OF REPAIR AREA 1/2" DEEP. REMOVE DELAMINATED/SPALLED CONCRETE TOPPING TO SOUND SUBSTRATE TAKING CARE NOT TO DAMAGE EXISTING PRECAST CONSTRUCTION. SELECTIVELY DEMOLISH ADDITIONAL CONCRETE TO EXPOSE MIN. 6" LENGTH OF UNCORRODED REBAR. ROUGHEN EXISTING CONCRETE SUBSTRATE TO MIN. 1/4" AMPLITUDE (ICRI CSP-7/8).
 3. PRESSURE WASH EXISTING CONCRETE SUBSTRATE (MIN 3000 PSI) TO REMOVE RESIDUAL DUST, DEBRIS, FRACTURED CONCRETE, AND CONTAMINANTS THAT PREVENT PROPER BONDING.
 4. CLEAN REMAINING REINFORCING TO REMOVE ALL TRACES OF CORROSION PRODUCTS (SSPC-SP3). COAT ALL REMAINING REINFORCING WITH ANTI-CORROSION COATINGS. IF EXISTING REBAR HAS LOST MORE THAN 20%, PROVIDE SUPPLEMENTAL REINFORCEMENT CONSISTING OF #4 REBAR. CONTRACTOR SHALL EXTEND OPENING TO PROVIDE A MINIMUM LAPPING OF 15" TO SOUND REINFORCEMENT ON BOTH SIDES OF CORRODED LOCATION. CONTRACTOR AT HIS OPTION, INSTEAD OF LAPPING REBAR IS PERMITTED TO USE MECHANICAL BAR SPLICES SUCH AS A DAYTON BAR SPLICE OR APPROVED EQUAL.
 5. WET THE CONCRETE SUBSTRATE WITH CLEAN WATER TO ACHIEVE A SATURATED SURFACE DRY CONDITION.
 6. APPLY A CEMENTITIOUS SLURRY BOND COAT TO SATURATED SURFACE DRY CONCRETE IMMEDIATELY BEFORE PLACING NEW CONCRETE REPAIR MATERIAL.
 7. CONTRACTOR TO PROVIDE HELIFIX PATCHPINS AT 8" O.C. H&V, AS REQUIRED.
 8. PLACE, FINISH, AND CURE NEW VERTICAL REPAIR MATERIAL TO MATCH EXISTING CONTOUR.



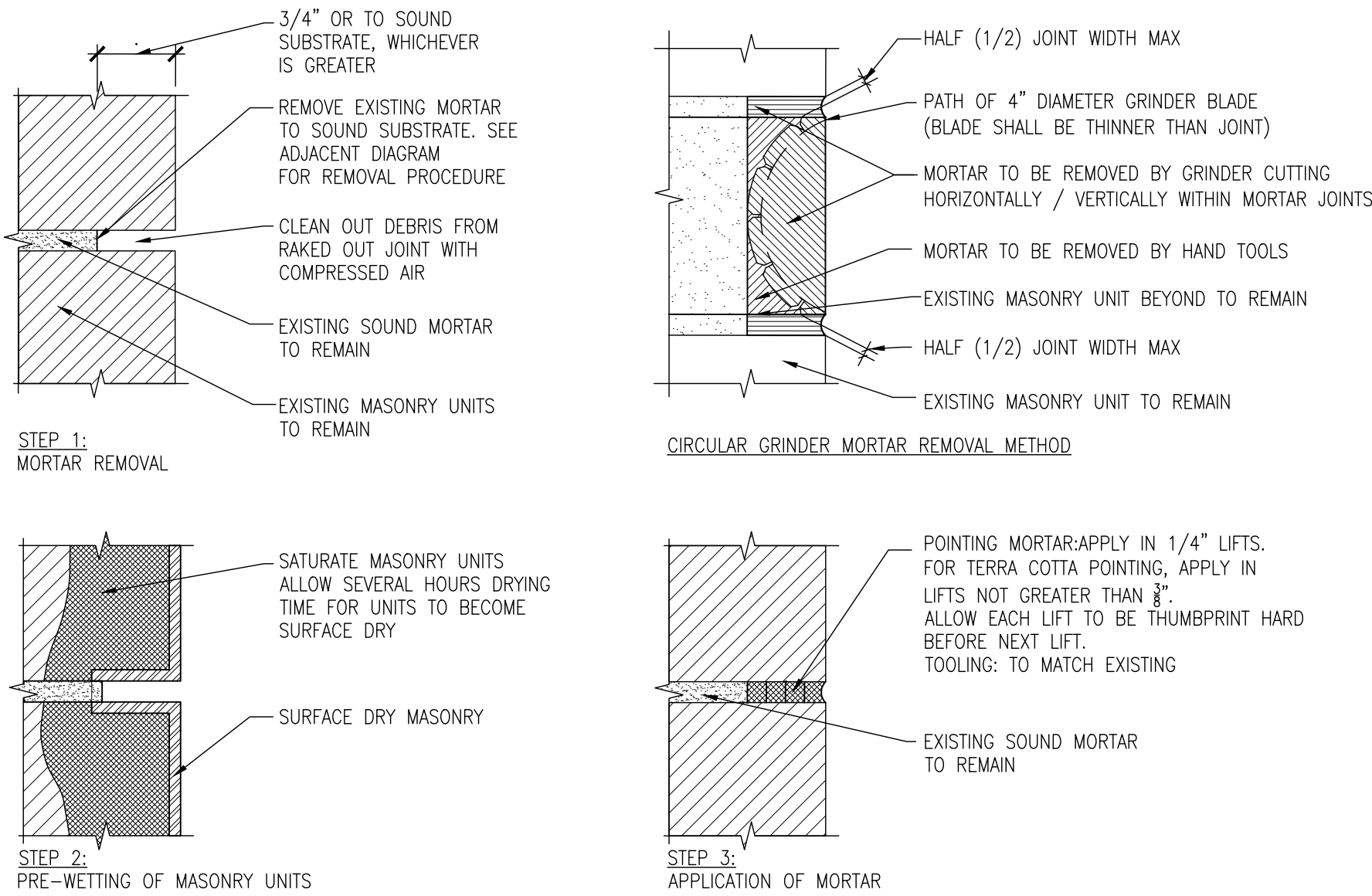
- REPAIR PROCEDURE:
1. CONTRACTOR TO PROVIDE MOCKUPS FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 2. INSTALL PINS INTO SOUND BRICKWORK, IF NECESSARY, TO STABILIZE BRICKWORK ABOVE BRICKS TO BE REPLACED. PINS SHALL BE 16" O.C. (1 PIN PER 2 SQ. FT.), STAGGERED.
 3. PROVIDE SHORING FOR BRICK REMOVAL GREATER THAN 2'-0" WIDE.
FOR CRACKS: PROVIDE PINS AT 12" O.C. STAGGERED ALONG EACH SIDE OF THE CRACK.
 - 3.1. SHORING OF MASONRY WALL TO SUPPORT MIN. 500 PLF PER WYTHE OF BRICK MASONRY. MAXIMUM LENGTH OF UNSUPPORTED BRICK MASONRY NOT TO EXCEED 2'-0". FOR STACKED BOND OR PANELIZED SYSTEMS, SHORING IS TO BE CONTINUOUS AT ALL BRICK REMOVALS.
 4. REMOVE DAMAGED BRICKS CAREFULLY BY SAW CUTTING JOINTS, WITHOUT DAMAGING ADJACENT SOUND BRICKS. HEADER COURSES SHALL REMAIN IN PLACE WHERE NOT DAMAGED. REPORT BROKEN OR FALSE HEADERS TO ENGINEER. IF HEADER COURSES ARE FAILED, TIE FACE WYTHE TO BACK-UP WITH FRICTION PINS.
 5. PRE-WET BOTH NEW AND SURROUNDING BRICKS BEFORE LAYING, BUT NOT WET AT THE TIME OF LAYING. THOROUGHLY WET THE ABUTTING BRICK SURFACES.
 6. TIE NEW BRICKWORK TO THE BACK-UP WALLS AND COLUMNS WITH BRICK TIES AND ANCHORS, AND TOOTH INTO THE EXISTING BRICKWORK.
 7. NEW BRICKWORK SHALL MATCH EXISTING IN ALL COURSING, TEXTURE, AND COLORING.

1 VERTICAL CONCRETE REPAIR

SCALE: NTS

4.01 BRICK MASONRY RECONSTRUCTION

SCALE: N.T.S.



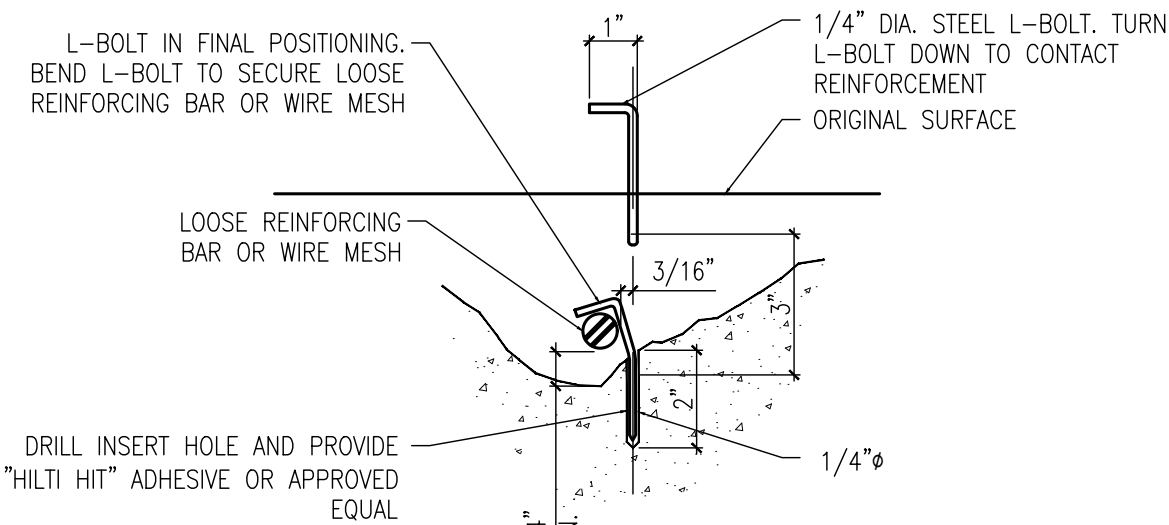
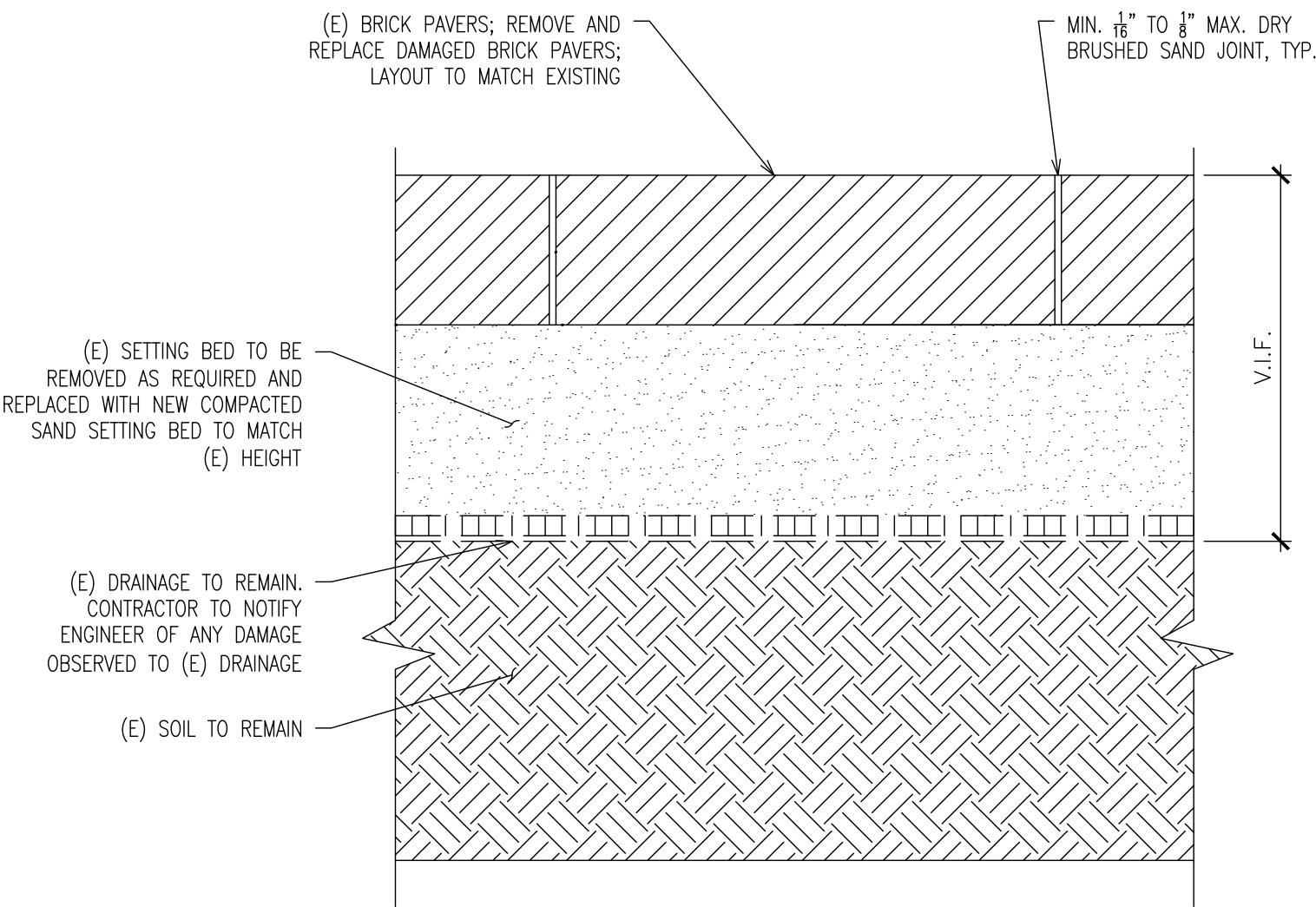
- REPAIR PROCEDURE:
1. CONTRACTOR TO PROVIDE MOCKUPS FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 2. SAW CUT JOINTS UNTIL SOUND MATERIAL IS REACHED OR A MINIMUM 3/4" DEEP WHICHEVER IS GREATER. USE ONLY HEPA VACUUM ATTACHED SAW.
 3. THOROUGHLY CLEAN AND BRUSH OUT RECESSES AND REMOVE ALL OLD MORTAR, CAULKING, FOREIGN AND LOOSE MATERIAL.
 4. RINSE BRICK JOINT SURFACES WITH WATER TO REMOVE ANY DUST AND MORTAR PARTICLE. THERE SHALL BE NO EXCESS WATER AT THE TIME OF RE-POINTING AND JOINT SURFACES ARE DAMP BUT FREE OF STANDING WATER.
 5. WHILE JOINTS ARE STILL MOIST, FILL THE ENTIRE WIDTH OF THE JOINTS WITH MORTAR, INCLUDING THE AREA OF THE JUNCTION BETWEEN THE ORIGINAL MORTAR AND BRICK. SEVERAL LAYERS WILL BE REQUIRED TO FILL THE JOINT FLUSH WITH THE OUTER SURFACE OF THE MASONRY. APPLY IN LAYERS NOT GREATER THAN 1/4" UNTIL A UNIFORM DEPTH IS FORMED.
 6. WHEN THE FINAL LAYER OF MORTAR IS THUMBPRINT HARD, TOOL THE JOINT IN A MANNER TO MATCH THE APPEARANCE OF THE EXISTING MORTAR IN COLOR, TEXTURE AND SHAPE.
 7. ALL JOINTS SHALL BE COMPACTED AND TOOLED WHILE MOIST TO OBTAIN A CONCAVE SURFACE.
 8. CURE MORTAR BY MAINTAINING IN A DAMP CONDITION FOR NOT LESS THAN 72 HOURS.

4.02 BRICK MASONRY MORTAR JOINT REPOINTING

SCALE: N.T.S.

4.03 UNIT PAVER REPLACEMENT

- SCALE: NTS
- NOTES:
1. TYPICAL PAVING DETAILS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL FIELD VERIFY AS-BUILT PAVING CONSTRUCTION.
 2. TOTAL SYSTEM THICKNESS OF PAVERS TO MATCH EXISTING PAVER SYSTEM THICKNESS.
 3. CUT PAVERS TO FIT AROUND CORNERS AND AT EXISTING PAVERS TO BE REUSED.



- NOTES:
1. SEE WORK ITEM SPECIFICATION FOR ADDITIONAL INFORMATION.
 2. CONTRACTOR MAY SUBMIT ALTERNATE BAR ANCHOR FOR ENGINEER'S APPROVAL.

A SUPPLEMENTARY ANCHORS

SCALE: N.T.S.

ARCHITECT/ENGINEER:

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Philadelphia Parking Authority COSMETIC RESTORATION PROGRAM The Autopark at Old City Philadelphia, Pennsylvania

1	05/18/2025	ADDENDUM #1
	04/25/2025	ISSUED FOR BID
NO.	DATE	REVISIONS

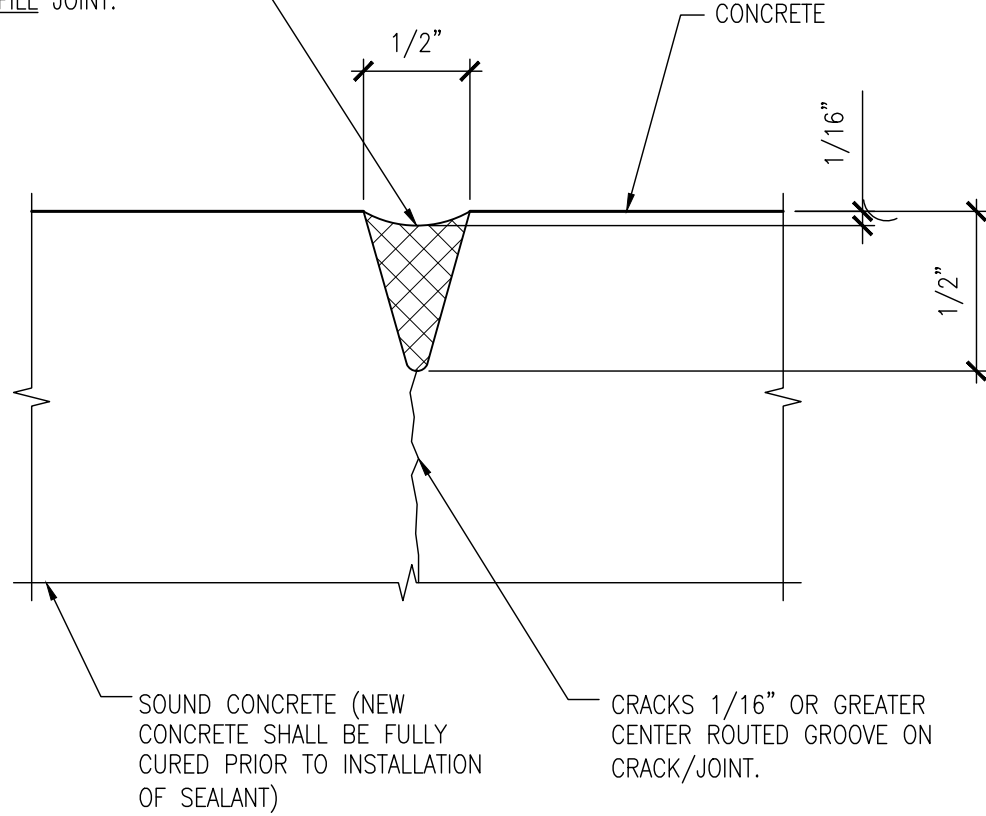
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CHECKED:	TR
SCALE:	AS SHOWN
DATE:	MAY 2025

DRAWING TITLE:
**CONCRETE & MASONRY
REPAIR DETAILS**

DRAWING No.

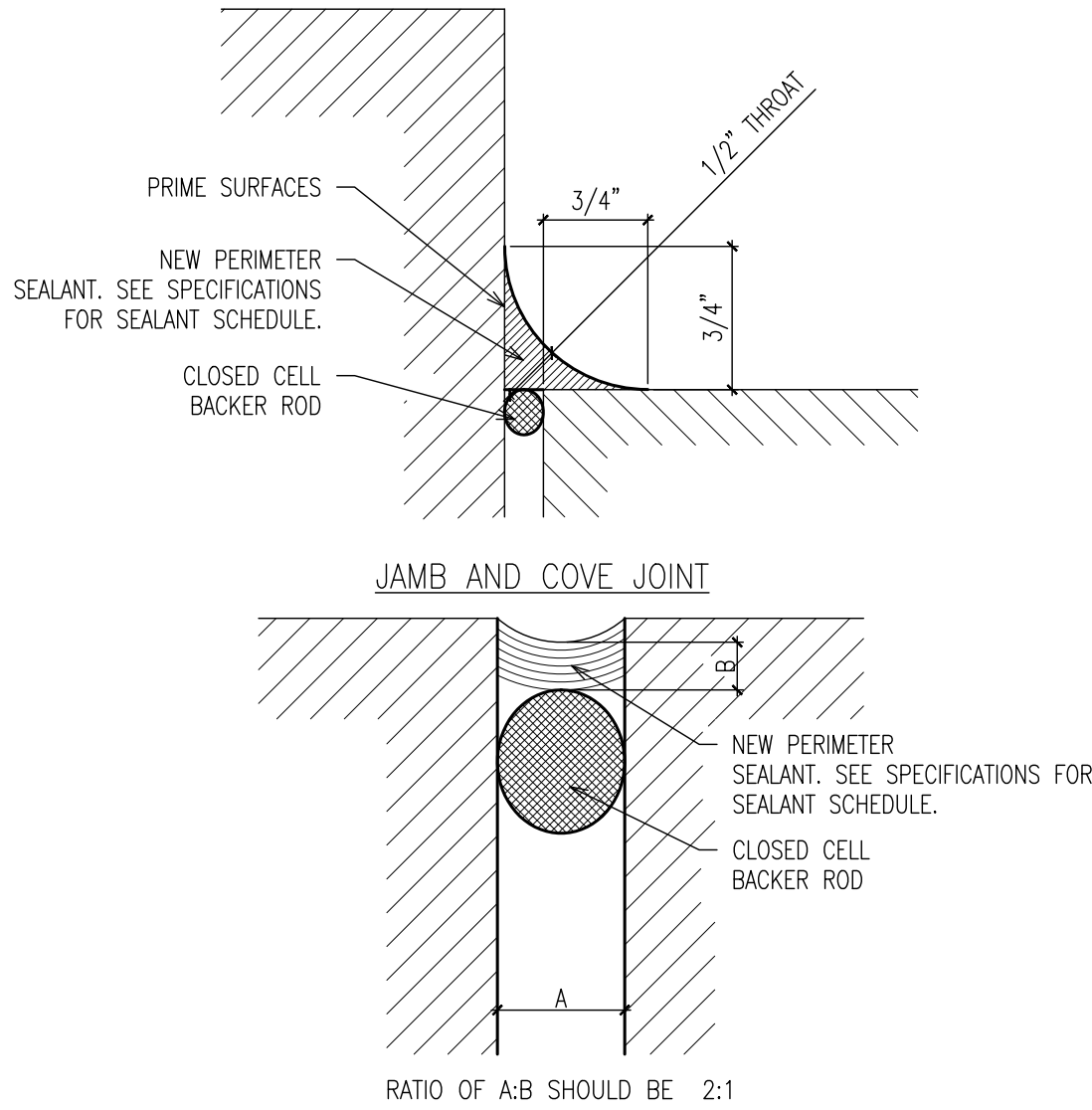
R-401

REMOVE SEALANT (IF EXISTING) & ROUT CRACK OR TOOL JOINT AND SEAL WITH FLEXIBLE SEALANT. INSTALL SEALANT EVENLY AND RECESS 1/16" BELOW SURFACE. DO NOT OVERFILL JOINT.



NOTE:

1. ROUT 1/2" X 1/2" V-GROOVE, PRIME SURFACE OF CRACK AND SEAL USING TWO-COMPONENT POLYURETHANE SEALANT.



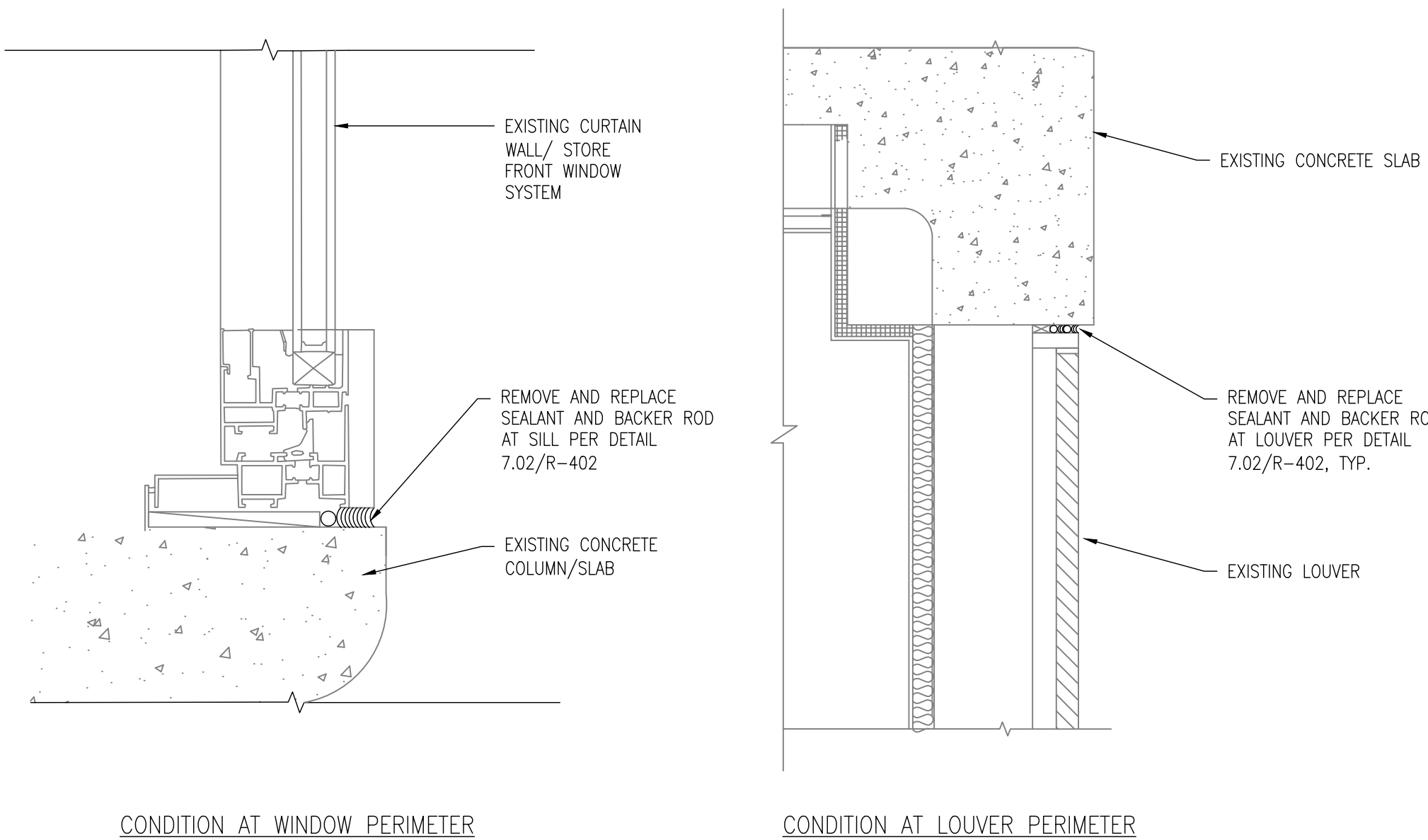
SKYWARD AND VERTICAL JOINTS

REPAIR PROCEDURE:

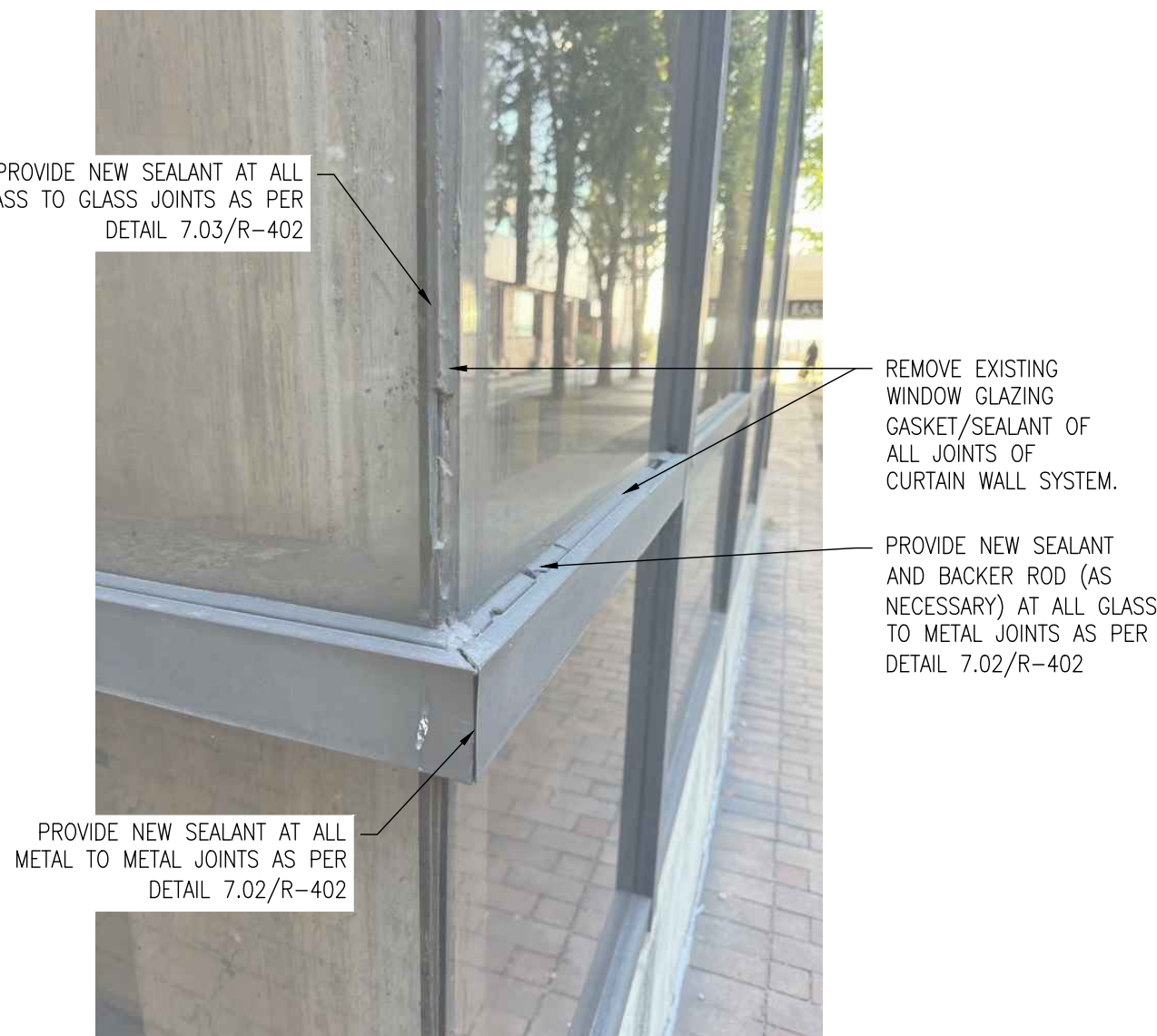
1. GRIND AND/OR MECHANICALLY CLEAN SUBSTRATE TO REMOVE DUST OR OTHER MATERIALS AND DELETERIOUS SUBSTANCES.
2. PRIME WITH COMPATIBLE PRIMER (MANDATORY).
3. NEATLY TOOL APPROVED SEALANT FOR WATERTIGHT SEAL.
4. SEALANT COLOR TO BE APPROVED BY OWNER VIA MOCKUPS.

7.01 ROUT AND SEAL CRACKS
SCALE: N.T.S.

7.02 SEALANT JOINT REPLACEMENT - FACADE
SCALE: N.T.S.



7.03 WINDOW/LOUVER PERIMETER SEALANT JOINT REPLACEMENT
SCALE: N.T.S.



7.04/5 WINDOW GLAZING SEAL REPLACEMENT
SCALE: N.T.S.



8.01 COVER STRIP REPLACEMENT
SCALE: N.T.S.

NOTES:

1. CONTRACTOR TO PROVIDE NEW ALUMINUM COVER STRIP 6' X 2 1/2". NEW COVER STRIP TO MATCH ADJACENT IN COLOR.

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Philadelphia Parking Authority
COSMETIC RESTORATION PROGRAM
The Autopark at Old City
Philadelphia, Pennsylvania

NO.	DATE	REVISIONS
1	05/18/2025	ADDENDUM #1
	04/25/2025	ISSUED FOR BID

DESIGN:	RM/TR
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CHECKED:	TR
SCALE:	AS SHOWN
DATE:	MAY 2025

DRAWING TITLE:

**WATERPROOFING
REPAIR DETAILS**

DRAWING No.

R-402

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Philadelphia Parking Authority
COSMETIC RESTORATION PROGRAM
The Autopark at Old City
Philadelphia, Pennsylvania

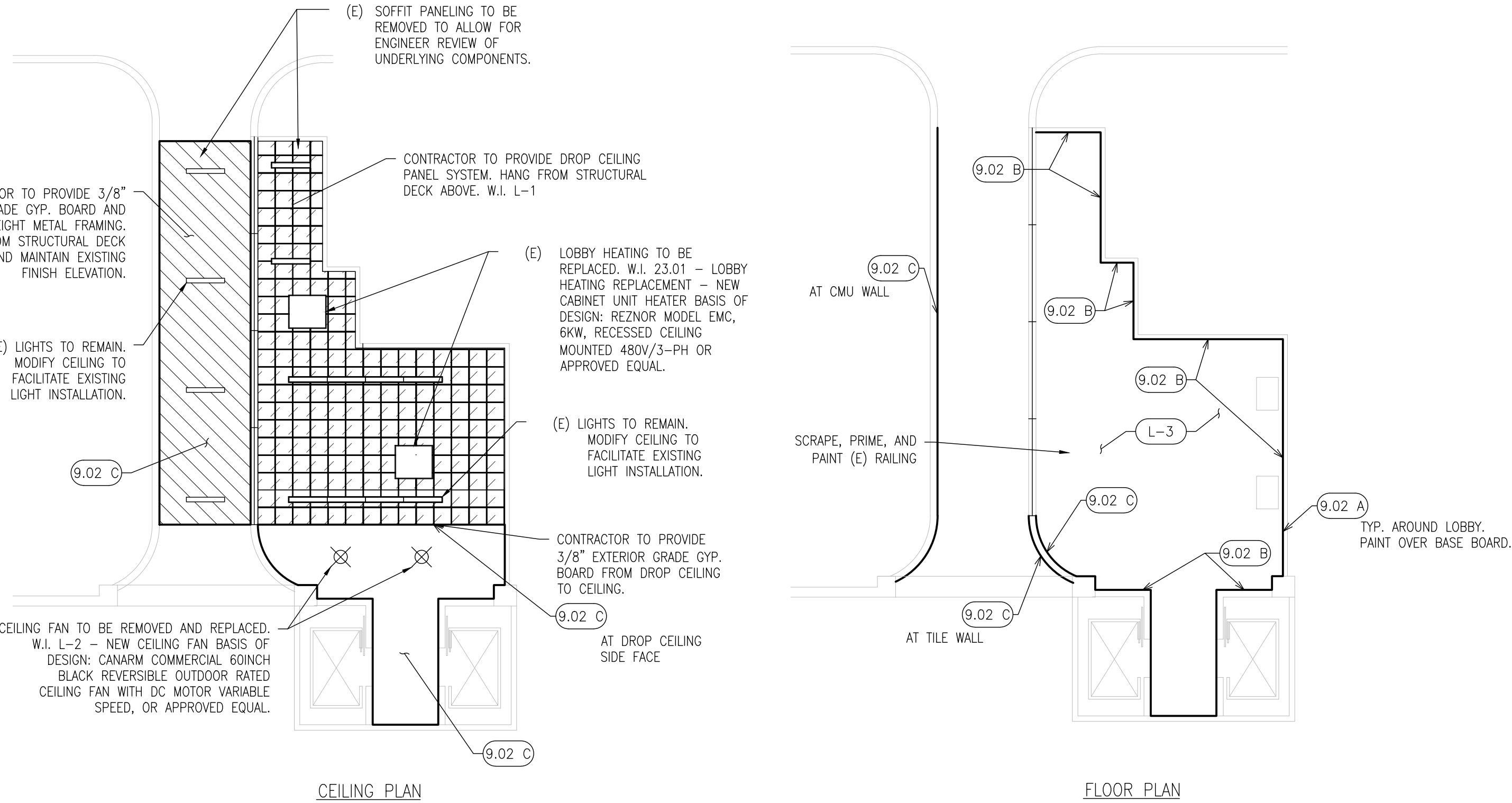
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	04/25/2025	ISSUED FOR BID
NO.	DATE	REVISIONS

DESIGN:	RM/TR
DRAWN:	AR/CD/AD/AS
CHECKED:	TR
SCALE:	AS SHOWN
DATE:	MAY 2025

DRAWING TITLE:
LOBBY RENOV. &
PAINTING DETAILS

DRAWING No.

R-403



W.I. 9.01, TYP. AT ENTIRE
FACADE UNTIL INTERIOR
CHAMFER LINE.

CONTRACTOR SHALL PAINT
AROUND ANY SIGNAGE,
CONDUIT, PIPE, ETC.

9.01 FACADE PAINTING

SCALE: NTS

PAINTING NOTES:

- SURFACE PREPARATION: REMOVE ALL SURFACE CONTAMINATION BY WASHING WITH AN APPROPRIATE CLEANER, RINSE THOROUGHLY AND ALLOW TO DRY. SCRAPE AND SAND PEELED OR CHECKED PAINT TO A SOUND SURFACE. SAND GLOSSY SURFACES DULL. SEAL STAINS FROM WATER, SMOKE, INK, PENCIL, GREASE, ETC. WITH THE APPROPRIATE PRIMER/SEALER.
- PAINTING CONTRACTOR TO COORDINATE ADHESION TESTING AND INSTALL MOCKUP FOR APPROVAL ON EACH SUBSTRATE TO BE PAINTED WITH MANUFACTURER REPRESENTATIVE.
- PRIOR TO PAINT APPLICATION, VERIFY THAT THE AIR, SURFACE, AND MATERIAL TEMPERATURES ARE ABOVE THOSE REQUIRED BY MANUFACTURER.
- DO NOT APPLY PAINT IF TEMPERATURES ARE NOT WITHIN PARAMETERS REQUIRED BY MANUFACTURES OR MAY DROP BELOW THOSE PARAMETERS WITHIN 48 HOURS.
- DO NOT APPLY PAINT IF RAIN OR SNOW IS EXPECTED WITHIN 1- 1 ½ HOURS.

9.02 ELEVATOR LOBBY RENOVATION DETAILS

SCALE: N.T.S.

GENERAL CONTRACTOR NOTES:

- GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING MECHANICAL EQUIPMENT, SECURITY CAMERAS, PIPES, AND FIRE SYSTEMS THROUGHOUT THE DURATION OF THE WORK.
- GENERAL CONTRACTOR SHALL TEMPORARILY REMOVE AND SUBSEQUENTLY REINSTALL EXISTING SECURITY CAMERAS, CONDUITS, PIPING, AND FIRE PROTECTION COMPONENTS AS NECESSARY TO FACILITATE REPAIR ACTIVITIES. COORDINATE ALL UTILITY INTERRUPTIONS WITH OWNER PRIOR TO COMMENCING WORK.
- GENERAL CONTRACTOR TO COORDINATE WITH OWNER FOR TEMPORARY REALLOCATION OF PARKING TICKET PAYMENT EQUIPMENT.
- GENERAL CONTRACTOR SHALL CAREFULLY REMOVE EXISTING SIGNS AND EQUIPMENT, PAINT ALL SURFACES BEHIND, AND REINSTALL UPON COMPLETION.

HVAC NOTES:

- MECHANICAL CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND COORDINATING SHUTDOWN OF ELECTRICAL OR MECHANICAL SYSTEMS AS REQUIRED.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR DISCONNECTING AND REMOVING THE EXISTING UNIT.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR PROVIDING NEW MOUNTING HARDWARE, HEATER UNIT, AND ANY REQUIRED SUPPORTS OR BRACKETS.
- MECHANICAL CONTRACTOR RESPONSIBLE FOR COMPLETING ALL REQUIRED ELECTRICAL, MECHANICAL, AND CONTROL CONNECTIONS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPLICABLE CODES.

PAINTING NOTES:

- SURFACE PREPARATION: REMOVE ALL SURFACE CONTAMINATION BY WASHING WITH AN APPROPRIATE CLEANER, RINSE THOROUGHLY AND ALLOW TO DRY. SCRAPE AND SAND PEELED OR CHECKED PAINT TO A SOUND SURFACE. SAND GLOSSY SURFACES DULL. SEAL STAINS FROM WATER, SMOKE, INK, PENCIL, GREASE, ETC. WITH THE APPROPRIATE PRIMER/SEALER.
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