#### The Philadelphia Parking Authority 701 Market Street, Suite 5400 Philadelphia, PA 19106

# Bid No. 19-05 Power Sweeping Services Addendum One

To: See Email Distribution List

From: Mary Wheeler

Manager of Contract Administration

Date: May 7, 2019

No Pages: 30

This addendum is issued on May 7, 2019 prior to the bid due date to add, delete, modify, clarify and/or to respond to questions submitted by prospective offerors regarding the work included in the above referenced solicitation.

#### **QUESTIONS**

**1. Question:** When do you think we will be getting the individual square footage of each of the parking garages at the airport and the city locations if possible?

**Response:** Please see attached Exhibit A, which has the square footage of each garage at the Airport and Center City garage locations.

2. Question: If we want to get back in to see the airport garages again what do we need to do in regards to getting our tickets validated? (Hoping to get in again and possibly during the off peak hours to get a better idea as to the amount of vehicles in the lot during that time)

**Response:** Yes, you may visit the garages at the airport and your parking will be validated. When you arrive pull a ticket and alert the on duty shift manager of your arrival. The on-duty shift manager can be reached at 267.273.9629. Inform the manager of the company you are with and they will notify the supervisor to validate your parking. Please be sure to exit through a manned lane and inform the customer service representative that the supervisor is aware and they will validate your parking.

**3. Question:** As discussed, the garages are posted 6'2" but the actual height is 6'8". Can we get a better idea as to where any areas that are less than 6'8" are located? This will be particularly important if it is decided that a regenerative air/vacuum sweeper is approved to do the work. These machines vary in height so it is important to know where the lower clearance areas are to avoid overhead damage to the equipment and garage, lights, plumbing etc. This could be a reason the ride-in sweeper is being requested in the scope. This type of sweeper is often used when low clearance is a concern.

**Response:** All Airport garages have a vehicle clearance height of 6'2". Please see Exhibit A for the clearances of each Center City garage.

**4. Question:** For the garages in Center City, you said when you leave file a form. Should we go to the manager's office prior to leaving or on our way out of the garage?

**Response:** Please go to the manager's office prior to returning to your vehicle to avoid any congestion at the exit lanes.

**5. Question:** It specifically says ride-on sweeper, correct? So no regenerated air vacuum sweepers at either one of these projects?

**Response:** The use of regenerated air vacuum sweepers is acceptable.

6. Question: Are there any specs on each one of these locations as far as square footage is concerned?

**Response:** Please see Exhibit A.

**7. Question:** I know that whatever we blow out that maybe the sweeper can't pick up will be picked up by hand. Are we responsible for any of the containers that are currently in the parking garage, to empty those?

Response: No.

**8. Question:** Can the pictures be emailed? (It says here mailed in)

**Response:** Yes, the pictures can be emailed.

**9. Question:** Is the project subject to prevailing wage rates? Tax exempt?

**Response:** This is not a prevailing wage project. The Authority is tax exempt.

**10. Question:** Is there any floor plans or maps that are available online of the parking garages, or is it basically you have to visit and take your own mental note, similar to the square footage question?

Response: Please see Exhibit A.

11. Question: An overhead site map of the airport locations of the garages, is there something laid out like that?

Response: Please see Exhibit A.

**12. Question:** That would bring us back to the open air lot, especially as far as what piece of equipment could we use for that lot? Either a regenerative air vacuum sweeper or the ride-on sweeper.

**Response:** The use of regenerated air vacuum sweepers is acceptable.

**13. Question:** Is there a timeframe on it (number of cleanings)?

**Response:** Quarterly.

**14. Question:** What is the duration?

**Response:** The term of the contract is three years.

**15. Question:** Notification will be given within 60 days after the due date of the bid, right? Educated guess, based on your experience?

Response: The Authority intends to award at the June Board Meeting.

16. Question: Is there a current program now? Is there a contract in place for this application?

**Response:** There is not a contract, but we have a purchase order open.

**17. Question:** As far as dumping the debris that is collected, who is responsible for that? Is there a dump site, are there dumpsters or do we have to take it?

**Response:** Please see section IV-2, all trash and debris must be bagged and disposed of. Trash bags must be placed in the facility dumpster on site.

18. Question: It has to be in a bag?

Response: Yes.

19. Question: You can't dump it directly into the dumpster without a bag?

Response: No, all debris must be bagged.

**20. Question:** If it's acceptable to use a regenerative air machine, is there a means to get water to keep the dust under control?

**Response:** Yes, each Center City garage has access to water and water is accessible at the Philadelphia International Airport garages and Economy Lot.

**21. Question:** Is it possible to get the actual, (not posted at entrances), inside height clearances at all of the Center City parking garages? This would be vital if a regenerative air/vacuum sweeper is allowed to perform the work. Ride-on sweepers would not have an issue.

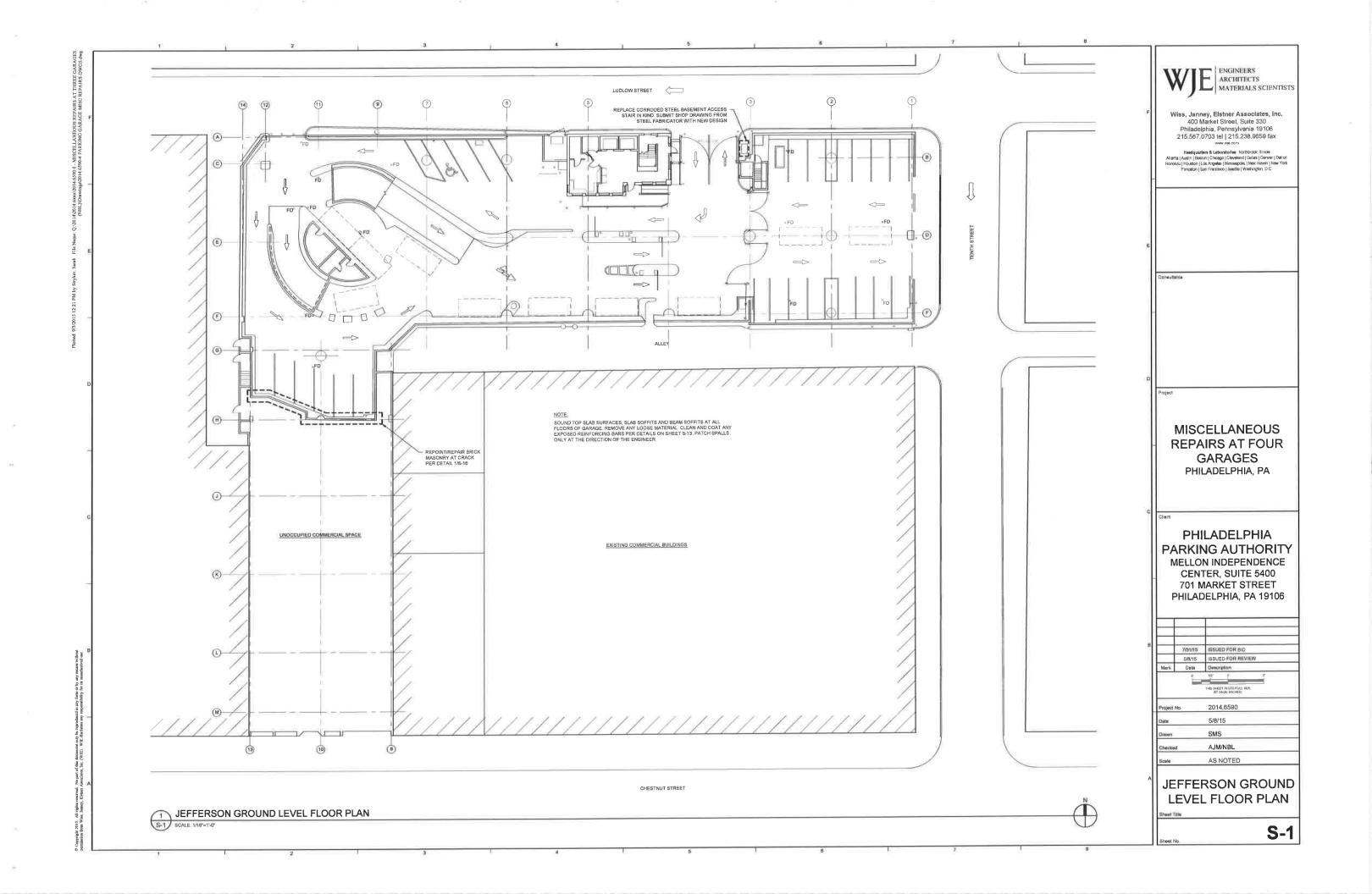
**Response:** Please see the answer to question number 3.

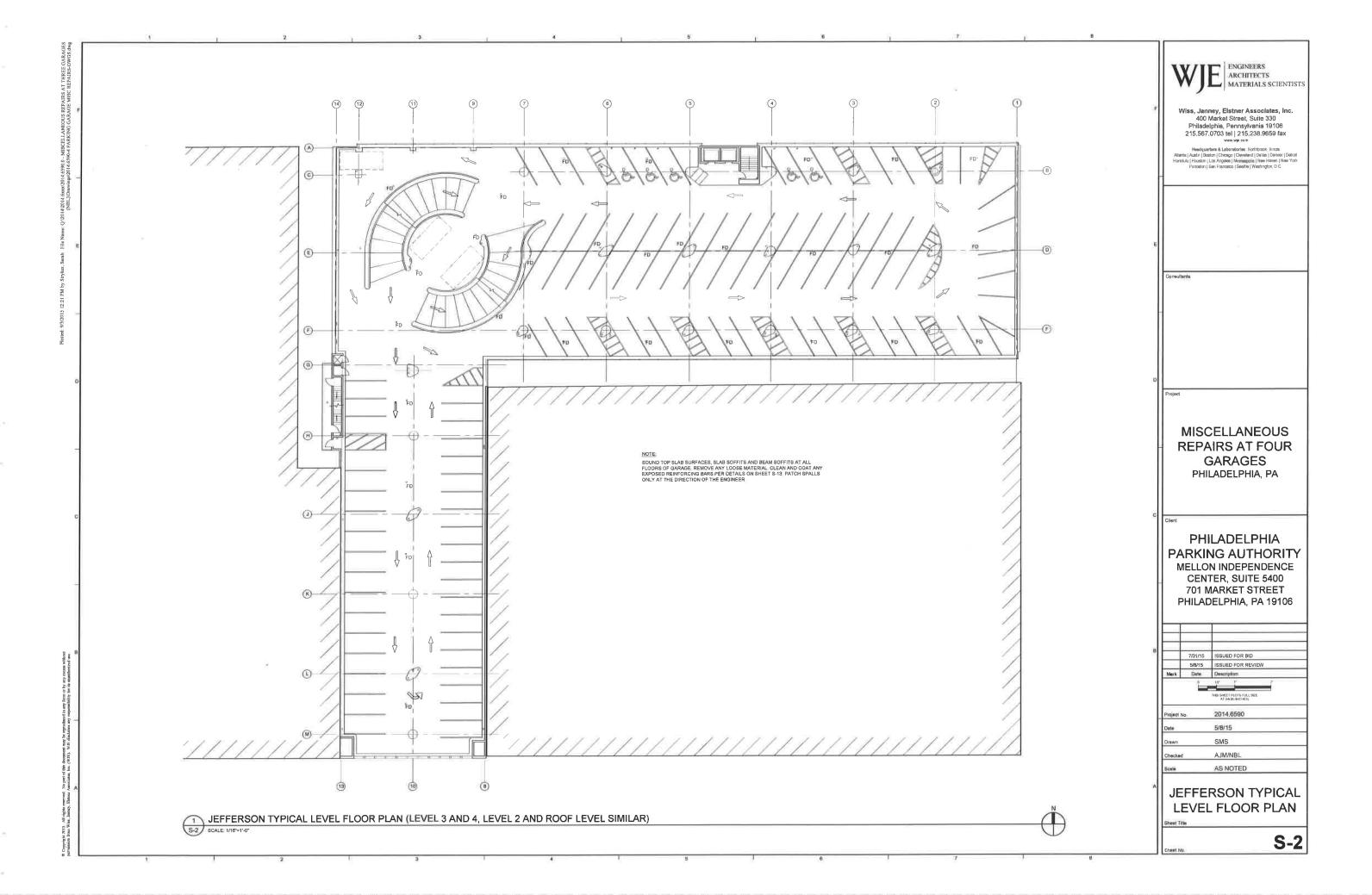
#### **END OF ADDENDUM ONE**

### EXHIBIT A

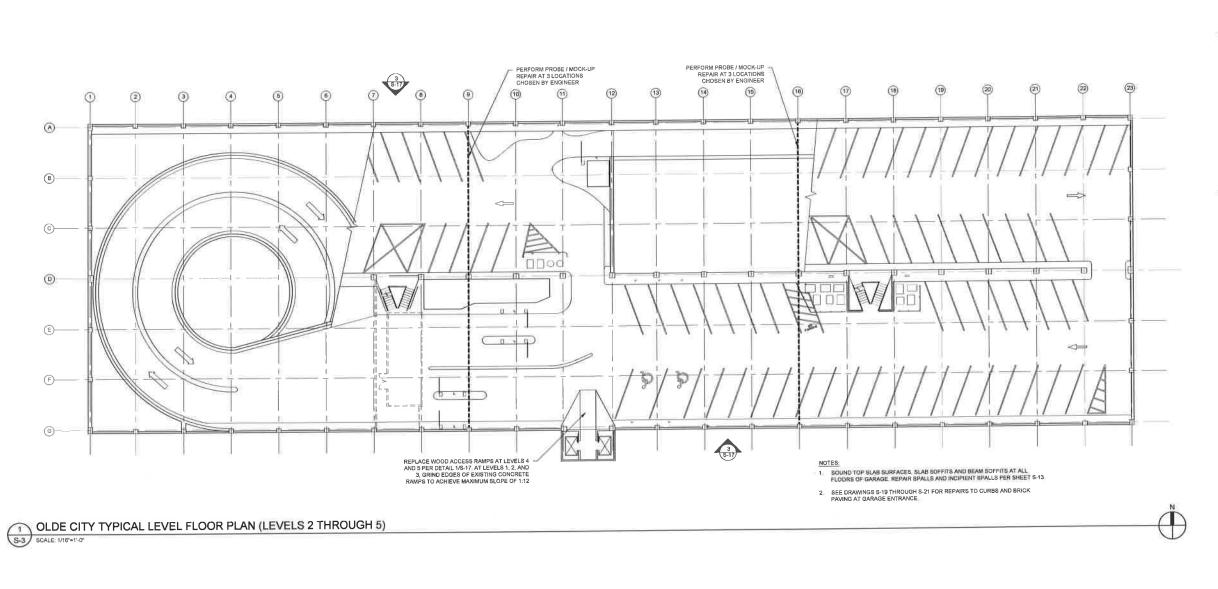
### Bid No. 19-05 Power Sweeping Services Center City Garages Square Footage and Vehicle Clearance Height

Garage	Square Footage	Vehicle Clearance
Autopark at Olde City	48,000 sq ft	6'7"
Autopark at Independence Mall	89,100 sq ft	6'6"
Parkade at 8 <sup>th</sup> and Filbert Street	78,000 sq ft	6'7"
Autopark at Gallery Mall	45,600 sq ft	6'2"
Autopark at Jefferson	85,000 sq ft	6'10"
Family Courthouse Garage	36,400 sq ft	First Level 8'2"
railing Courthouse Garage	30,400 Sq It	Remaining Levels 7'0"









WJE ENGINEERS ARCHITECTS MATERIALS SCIENTISTS

Wiss, Janney, Elstner Associates, Inc. 400 Market Street, Suite 330 Philadelphia, Pennsylvania 19106 215,567,0703 tel | 215,238,9659 fax

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MISCELLANEOUS **REPAIRS AT FOUR GARAGES** PHILADELPHIA, PA

PHILADELPHIA PARKING AUTHORITY MELLON INDEPENDENCE CENTER, SUITE 5400 701 MARKET STREET PHILADELPHIA, PA 19106

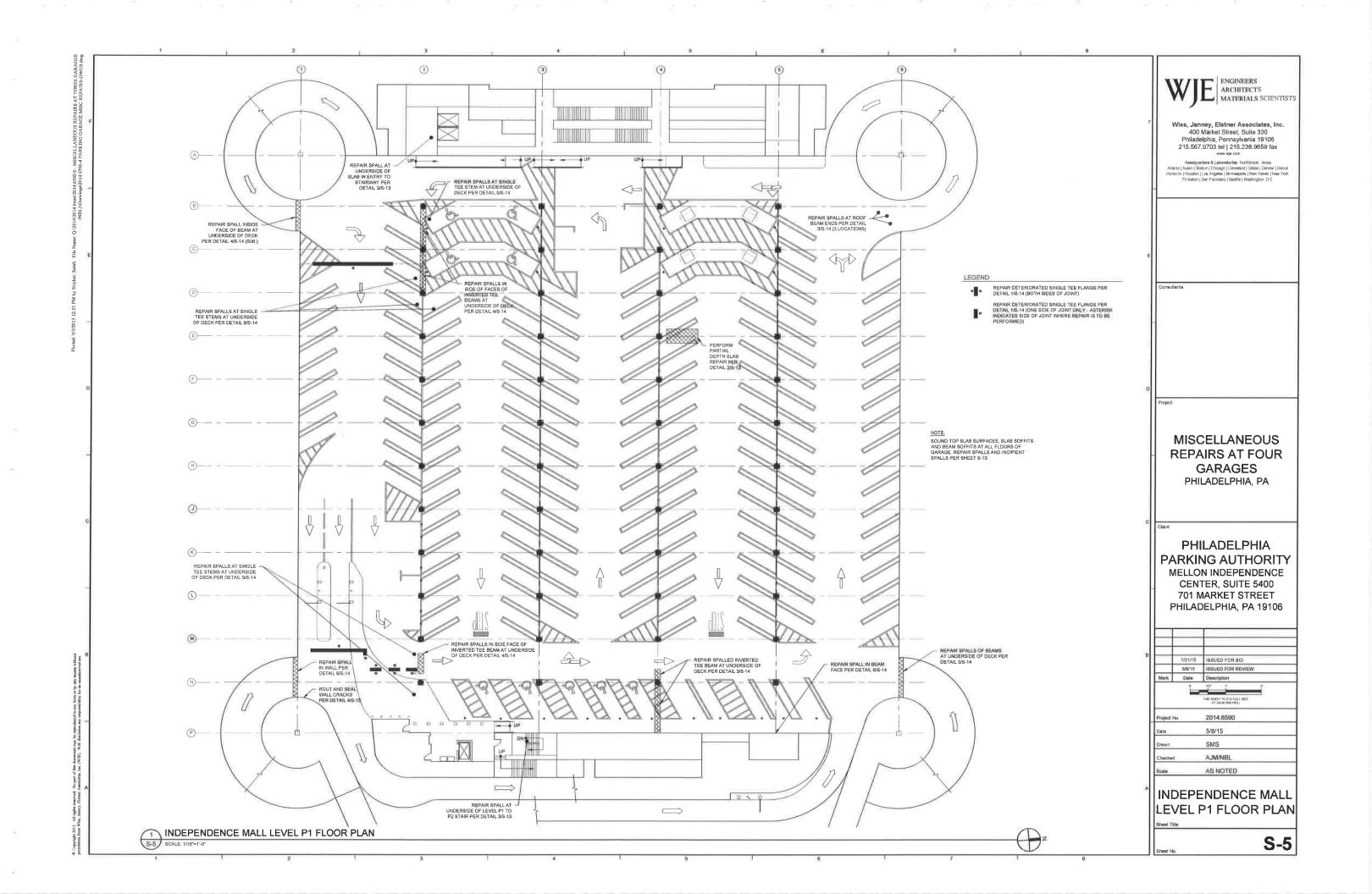
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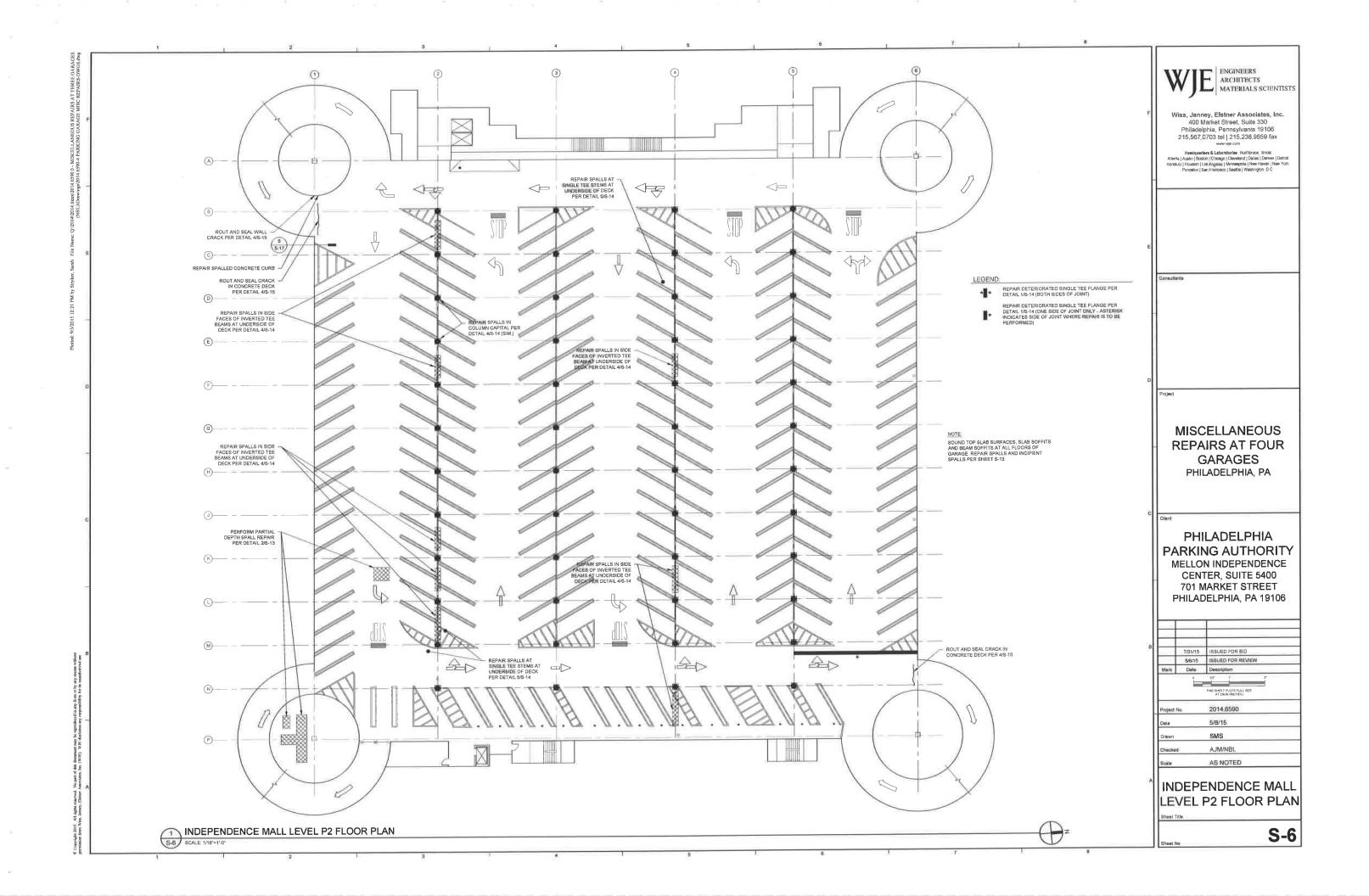
**OLDE CITY TYPICAL** LEVEL FLOOR PLAN

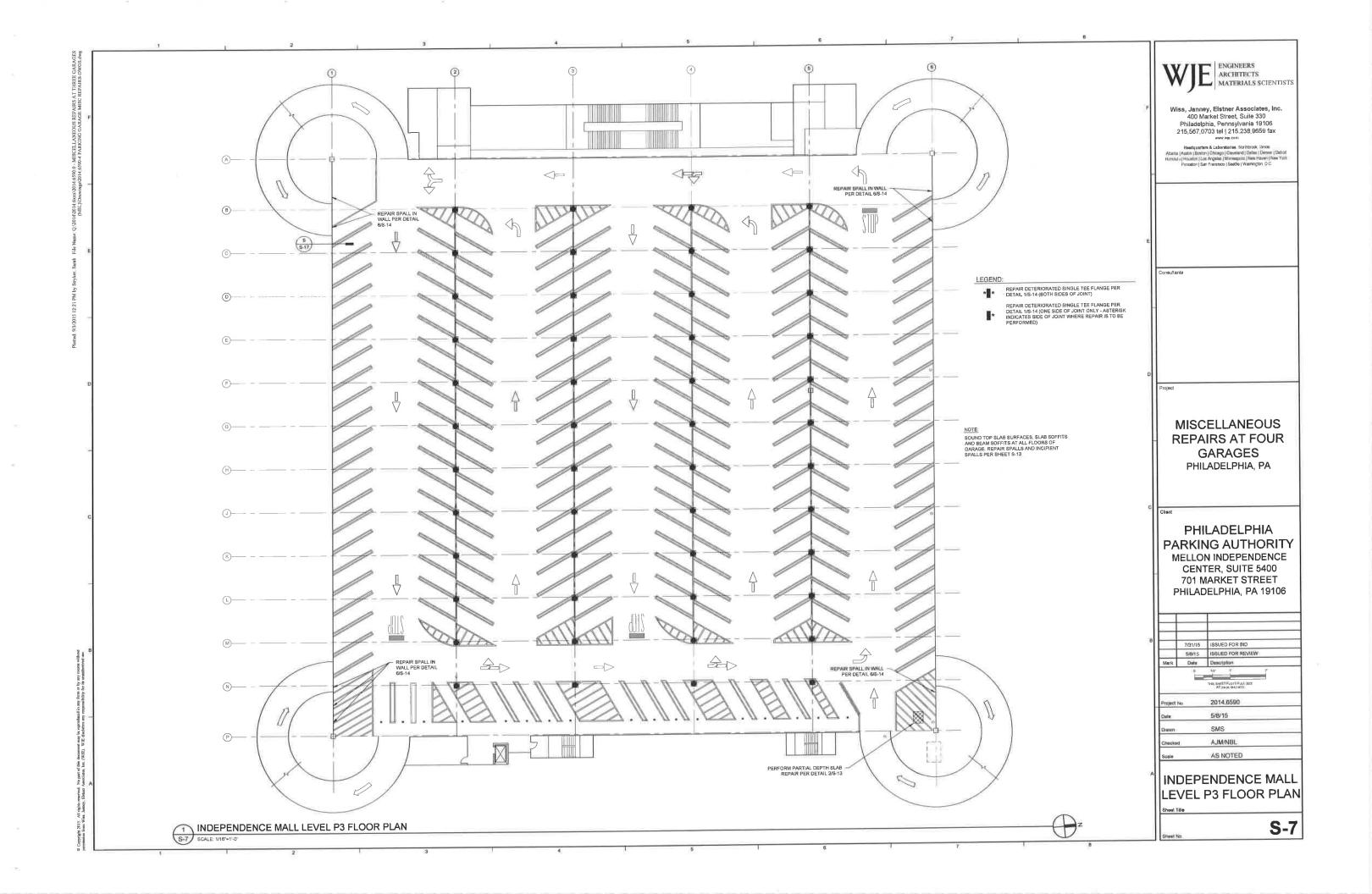
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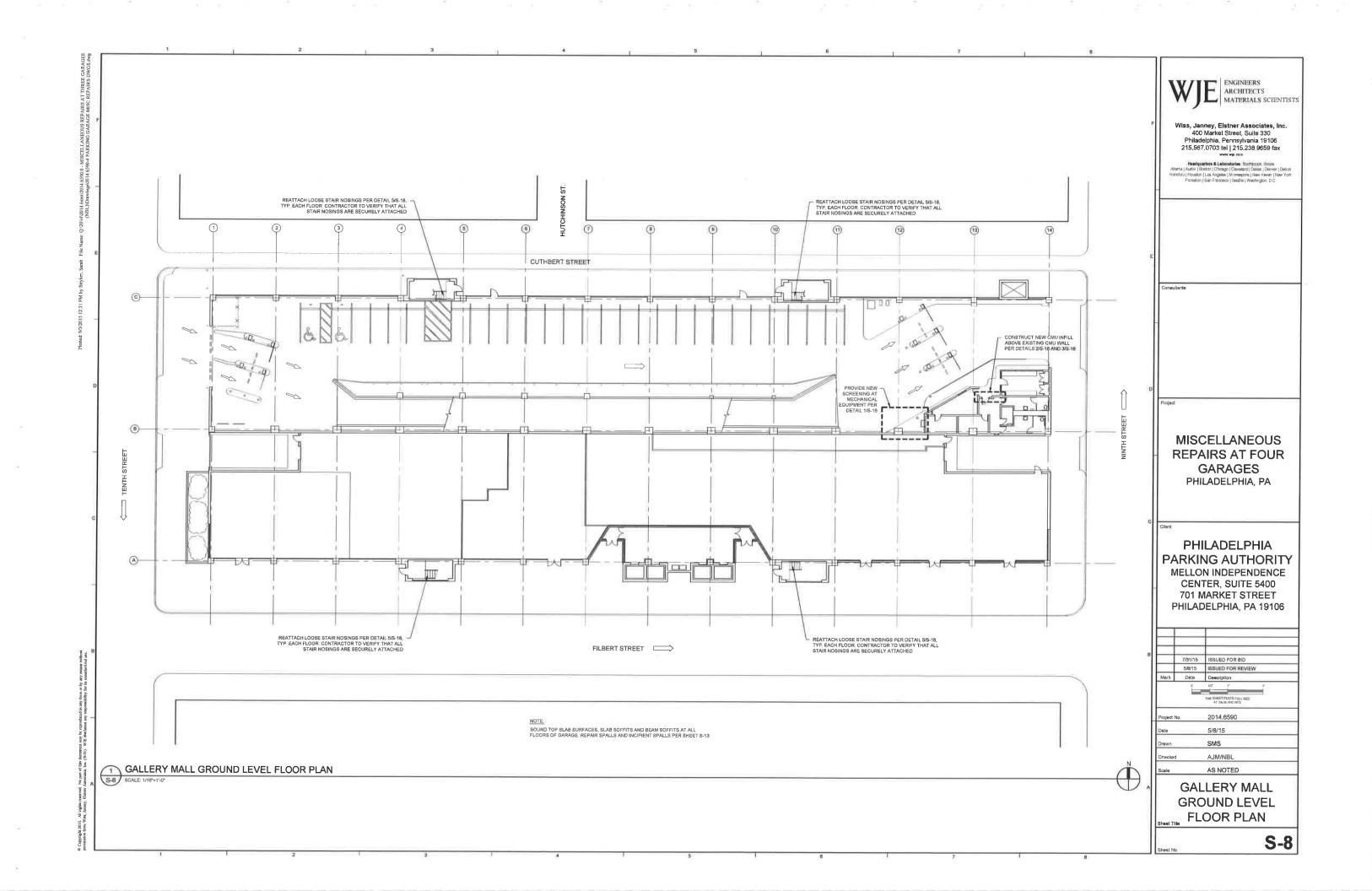
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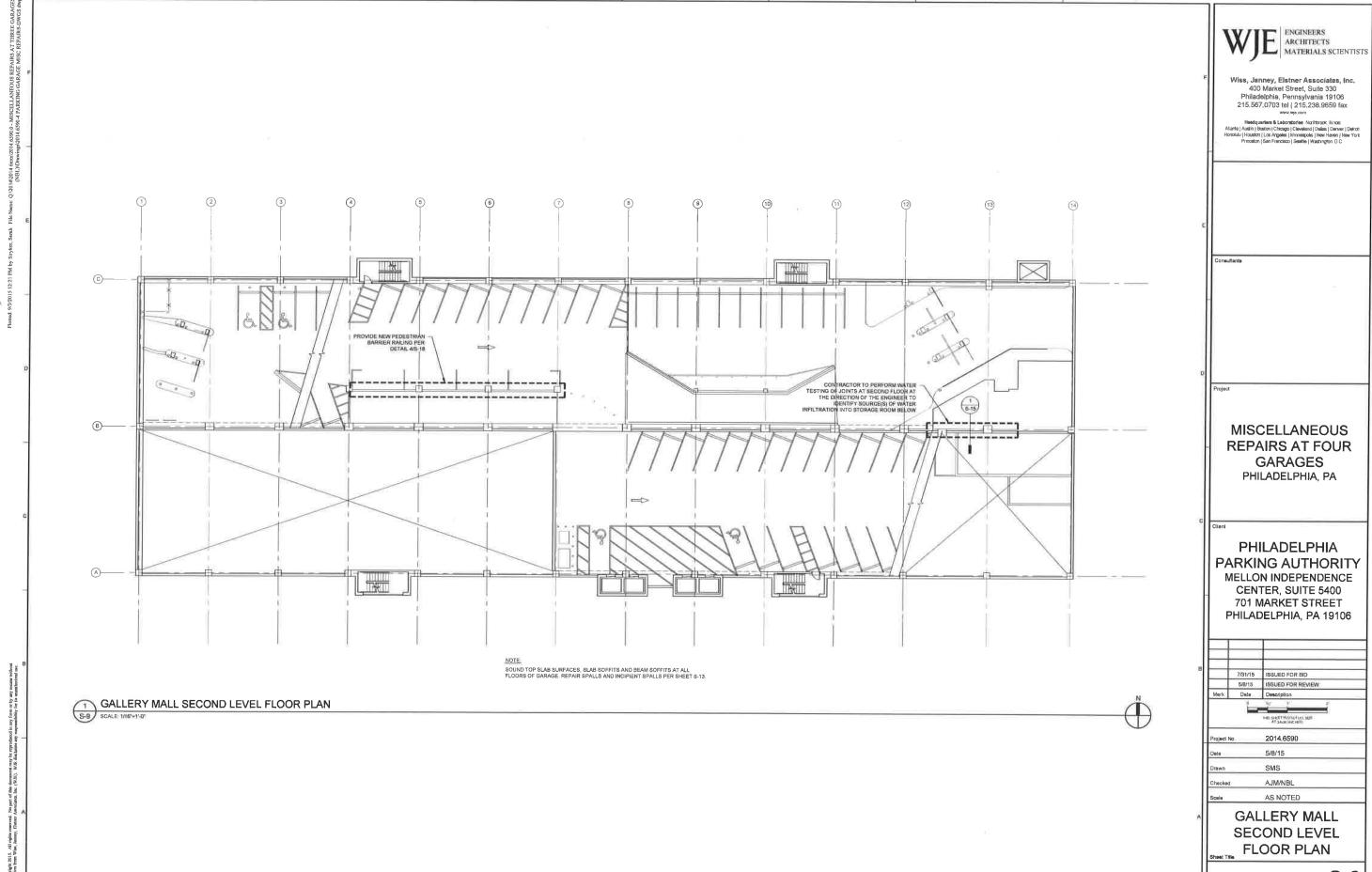
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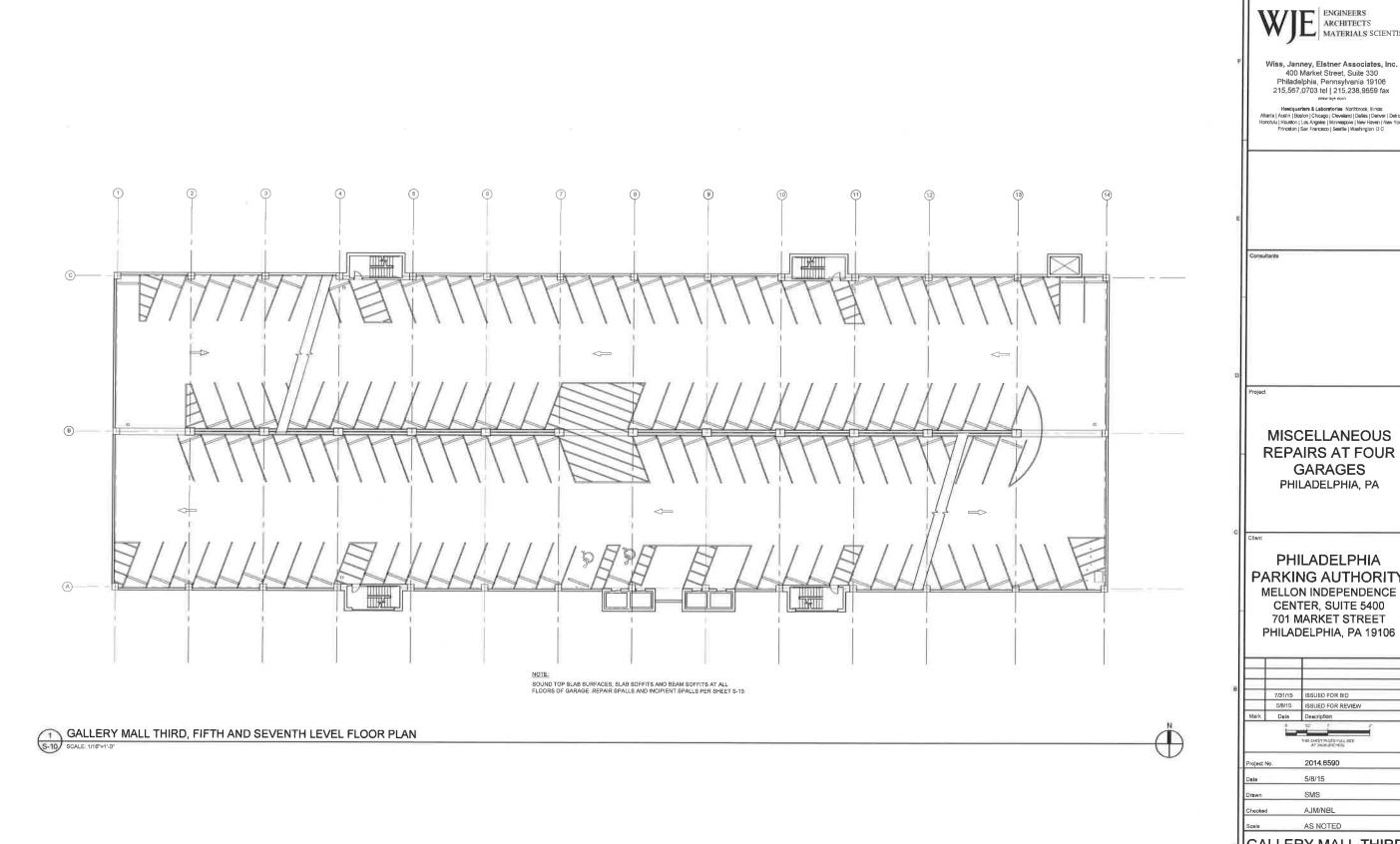








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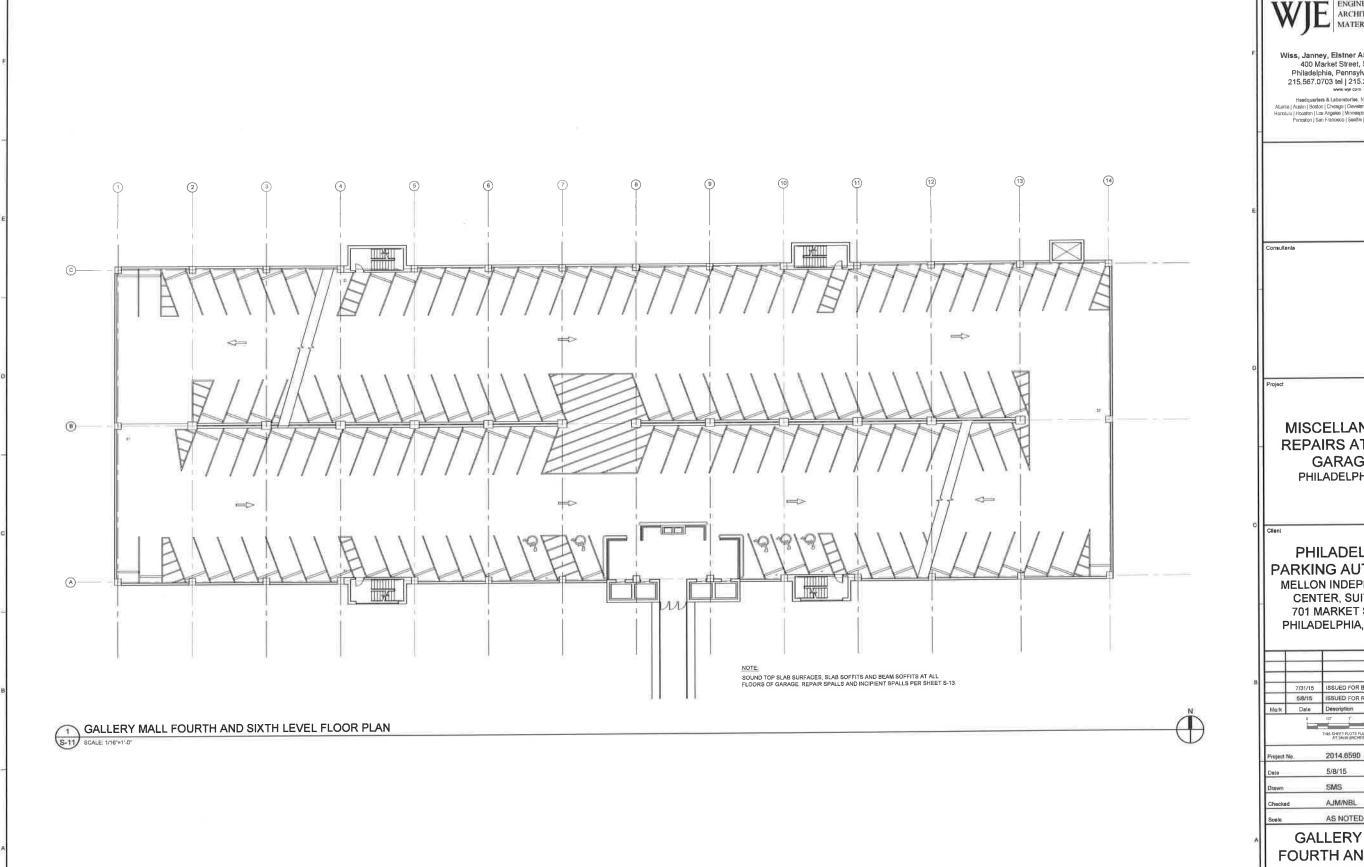
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**MISCELLANEOUS REPAIRS AT FOUR GARAGES** PHILADELPHIA, PA

**PHILADELPHIA PARKING AUTHORITY** MELLON INDEPENDENCE CENTER, SUITE 5400 701 MARKET STREET



GALLERY MALL THIRD, FIFTH AND SEVENTH LEVEL FLOOR PLAN



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MISCELLANEOUS REPAIRS AT FOUR **GARAGES** PHILADELPHIA, PA

PHILADELPHIA PARKING AUTHORITY MELLON INDEPENDENCE CENTER, SUITE 5400 701 MARKET STREET PHILADELPHIA, PA 19106

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GALLERY MALL FOURTH AND SIXTH LEVEL FLOOR PLAN

GALLERY MALL EIGHTH LEVEL FLOOR (ROOF) PLAN
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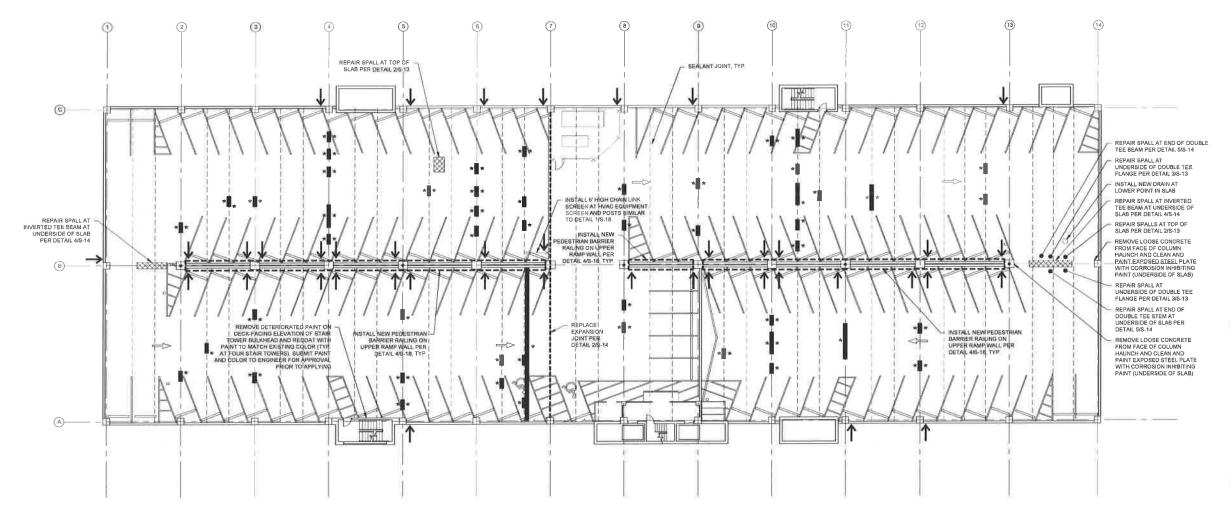
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ARCHITECTS
MATERIALS SCIENTISTS

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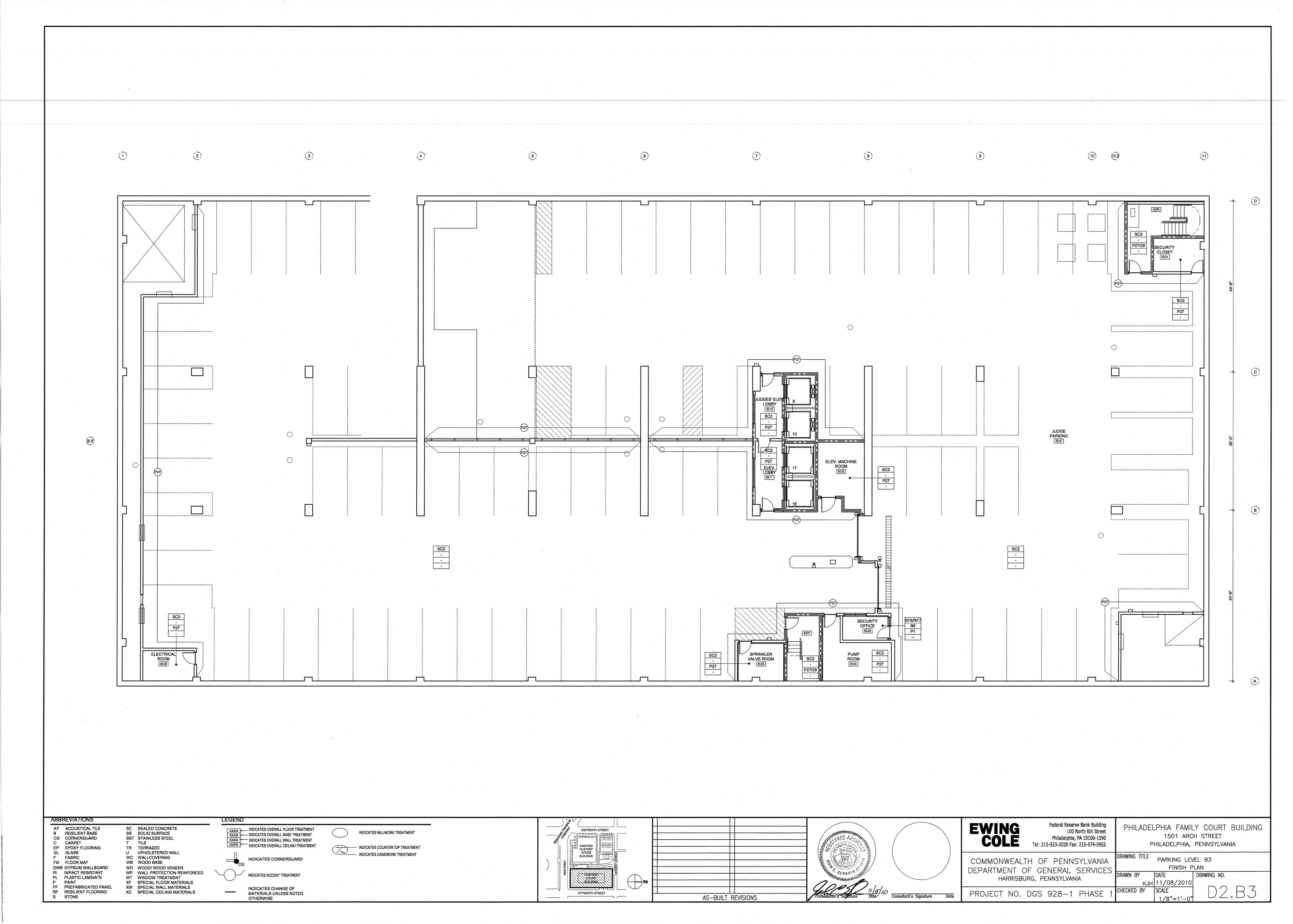
MISCELLANEOUS REPAIRS AT FOUR GARAGES PHILADELPHIA, PA

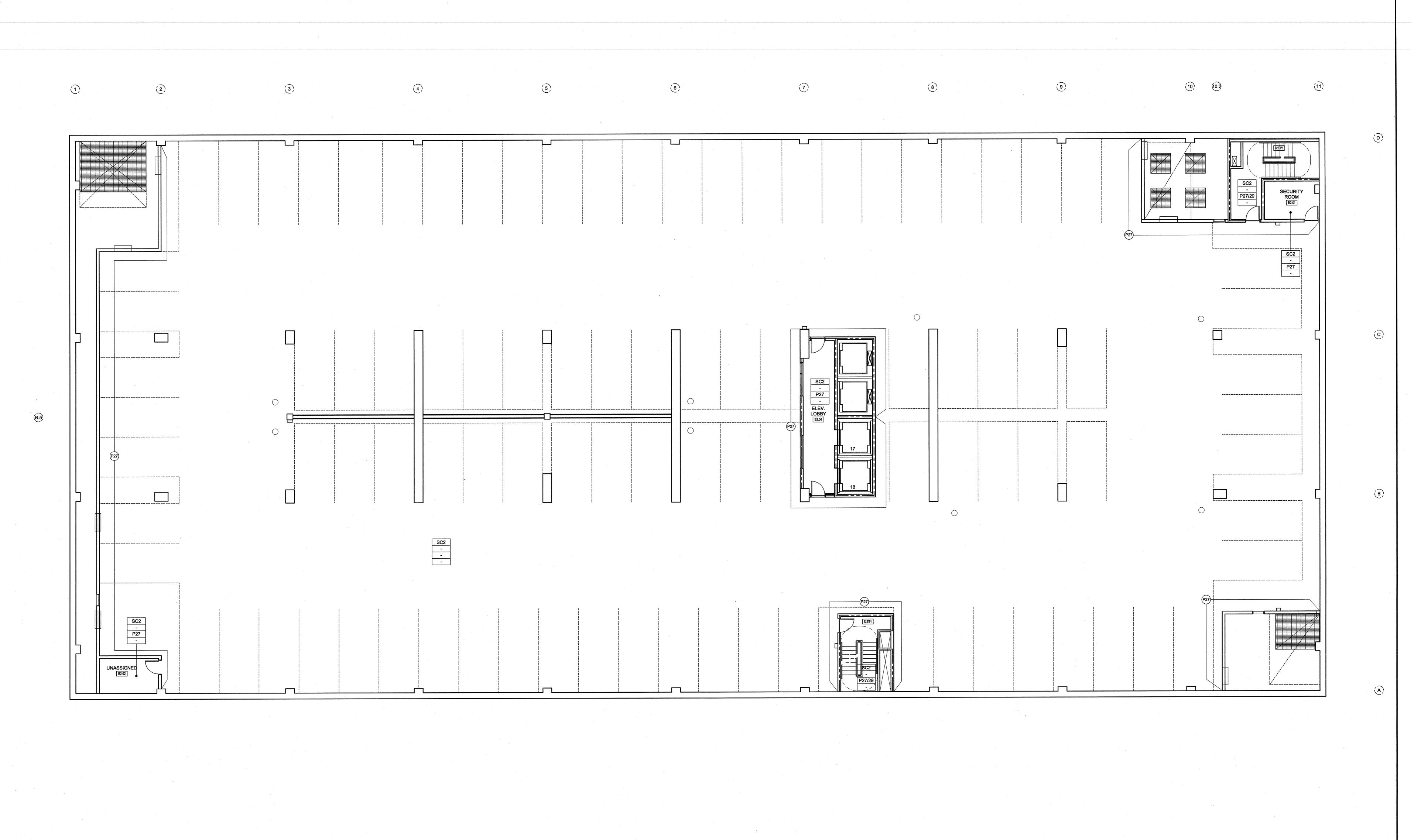
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PHILADELPHIA
PARKING AUTHORITY
MELLON INDEPENDENCE
CENTER, SUITE 5400
701 MARKET STREET
PHILADELPHIA, PA 19106

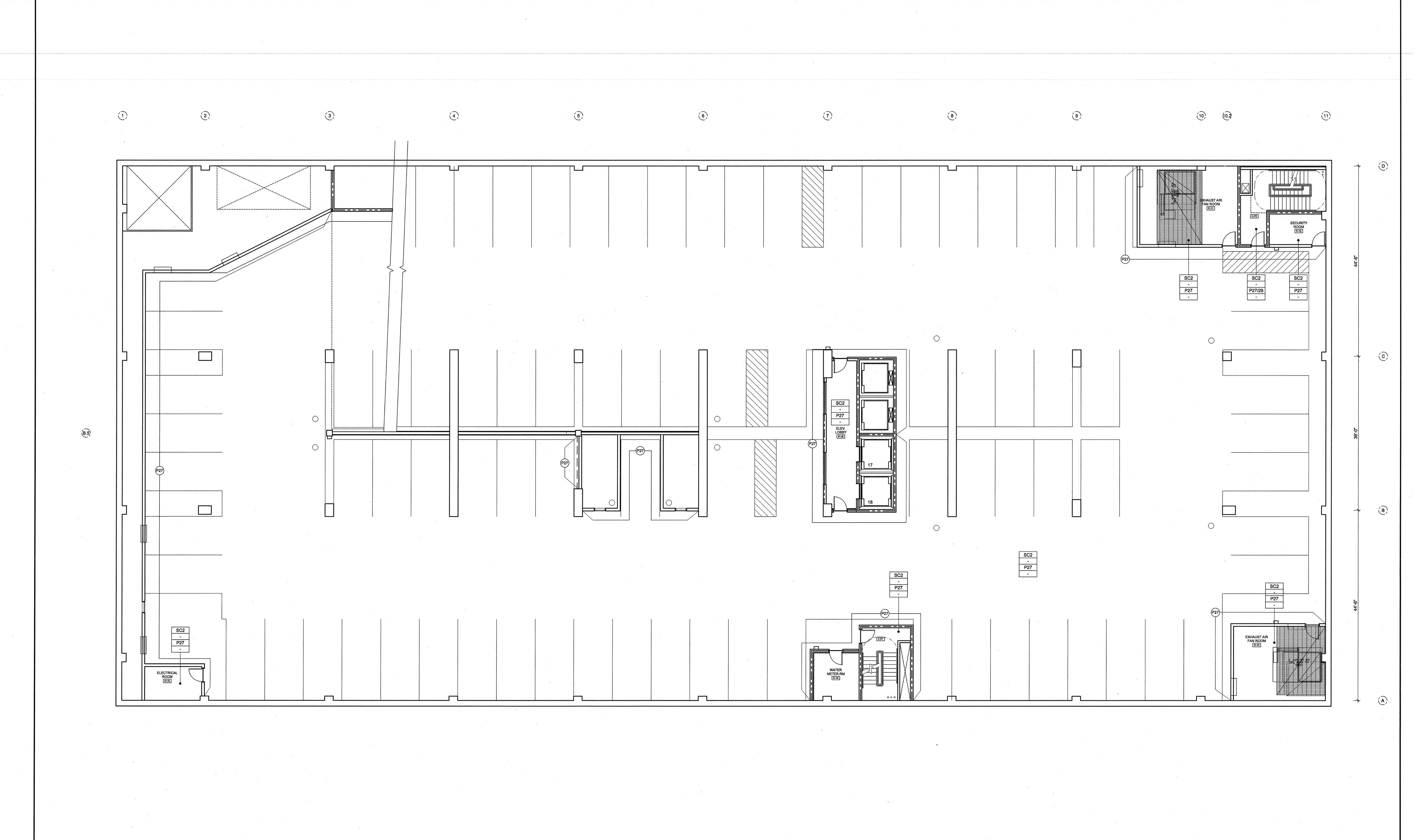
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GALLERY MALL EIGHTH LEVEL FLOOR PLAN





LEGEND ABBREVIATIONS Federal Reserve Bank Building PHILADELPHIA FAMILY COURT BUILDING SC SEALED CONCRETE SS SOLID SURFACE SST STAINLESS STEEL XXXX INDICATES OVERALL FLOOR TREATMENT
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PL PLASTIC LAMINATE

PF PREFABRICATED PANEL

RF RESILIENT FLOORING

P PAINT

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ABBREVIATIONS

SC SEALED CONCRETE SS SOLID SURFACE SST STAINLESS STEEL T TILE TR TERRAZZO U UPHOLSTERED WALL
WC WALLCOVERING
WB WOOD BASE
WD WOOD/ WOOD VENEER
WP WALL PROTECTION REINFORCED

XC SPECIAL CEILING MATERIALS

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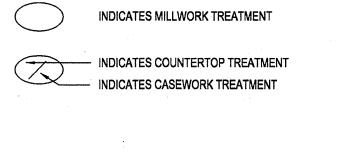
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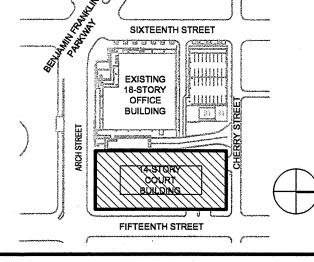
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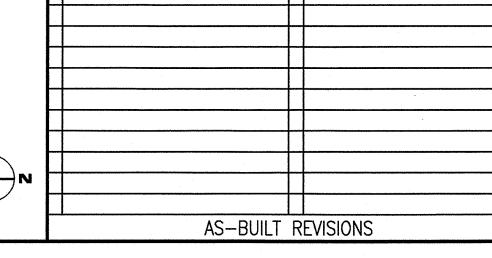
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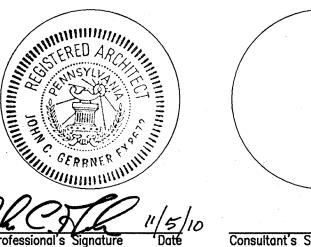
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PROJECT NO. DGS 928-1 PHASE

Federal Reserve Bank Building 100 North 6th Street Philadelphia, PA 19106-1590 Tel: 215-923-2020 Fax: 215-574-0952

COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF GENERAL SERVICES

HARRISBURG, PENNSYLVANIA

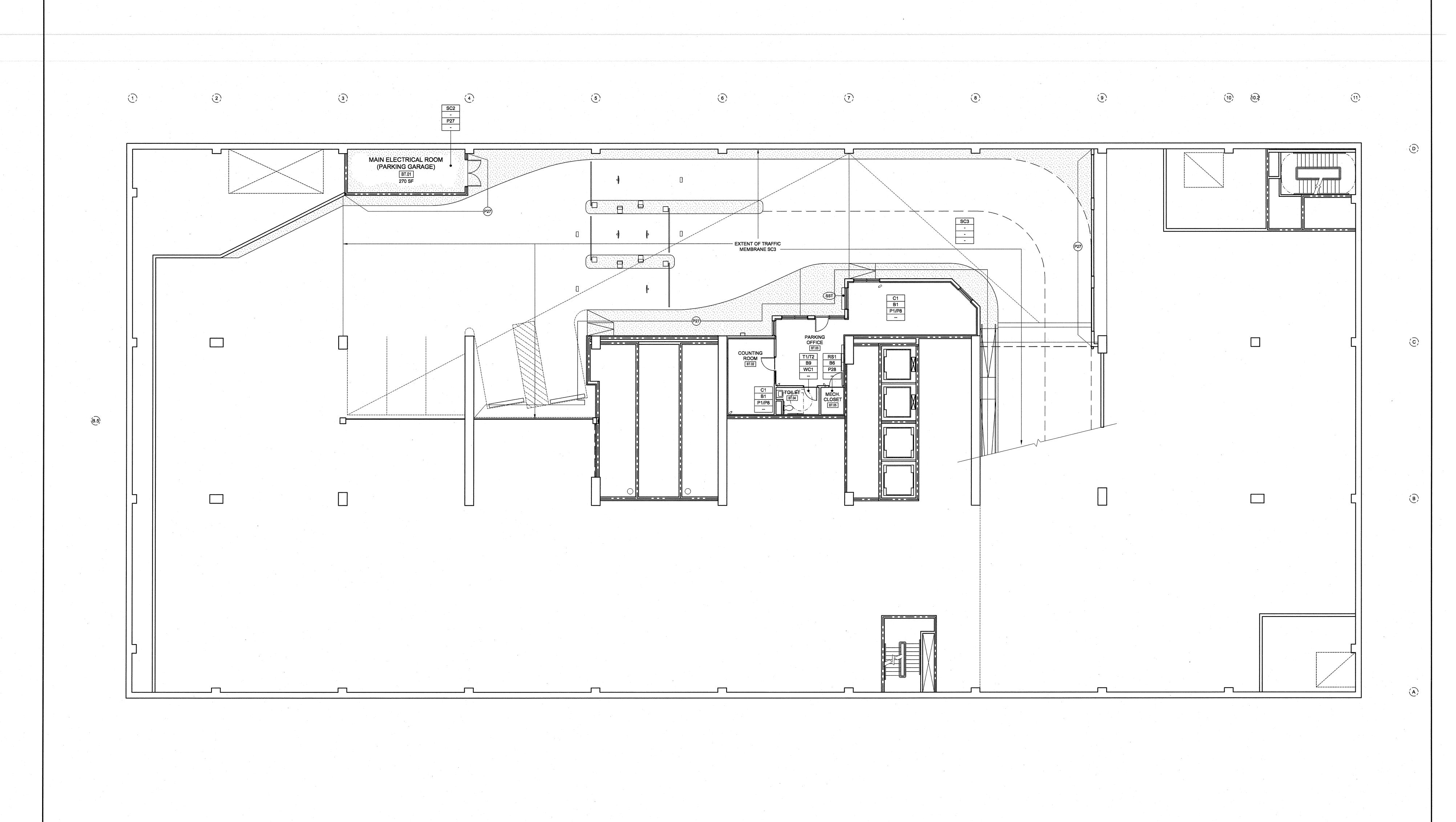
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PHILADELPHIA FAMILY COURT BUILDING 1501 ARCH STREET PHILADELPHIA, PENNSYLVANIA

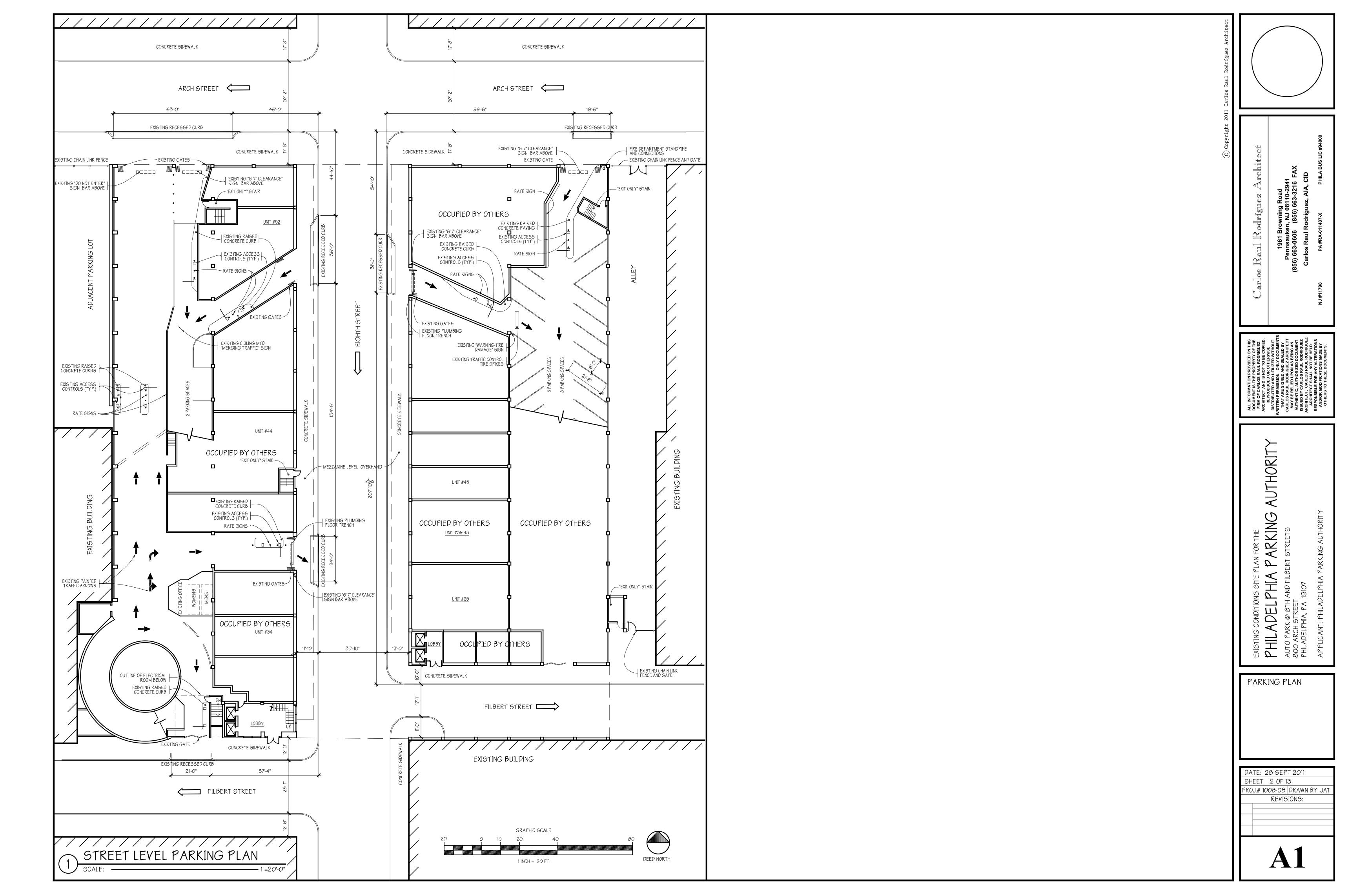
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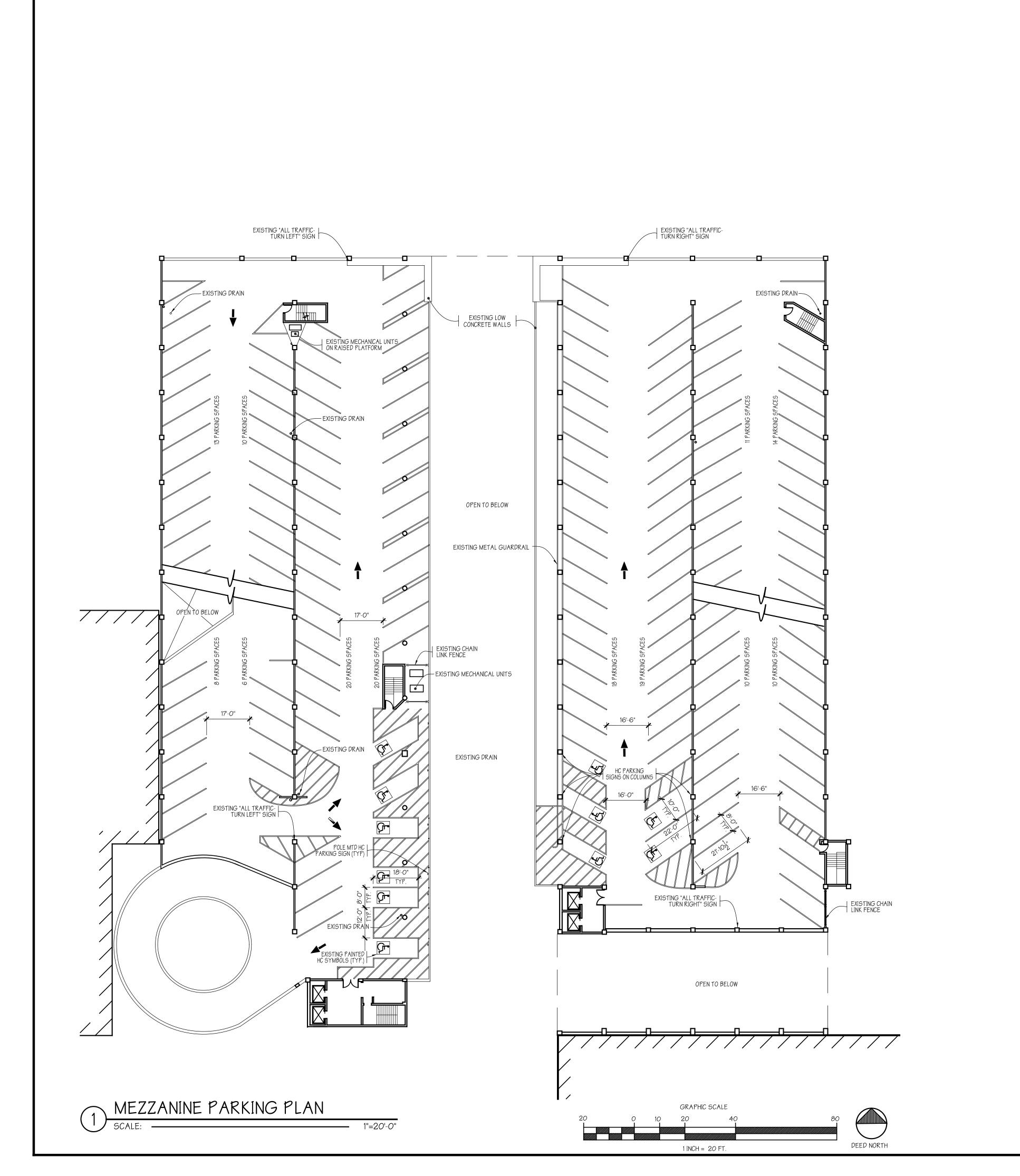
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INDICATES OVERALL CEILING TREATMENT Tel: 215-923-2020 Fax: 215-574-0952 PHILADELPHIA, PENNSYLVANIA C CARPET EP EPOXY FLOORING TILE EXISTING 18-STORY OFFICE BUILDING INDICATES COUNTERTOP TREATMENT
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EXISTING CONDITIONS SITE PLAN FOR THE

PHILADELPHIA PARKING AUTHORITY

AUTO PARK @ 8TH AND FILBERT STREETS

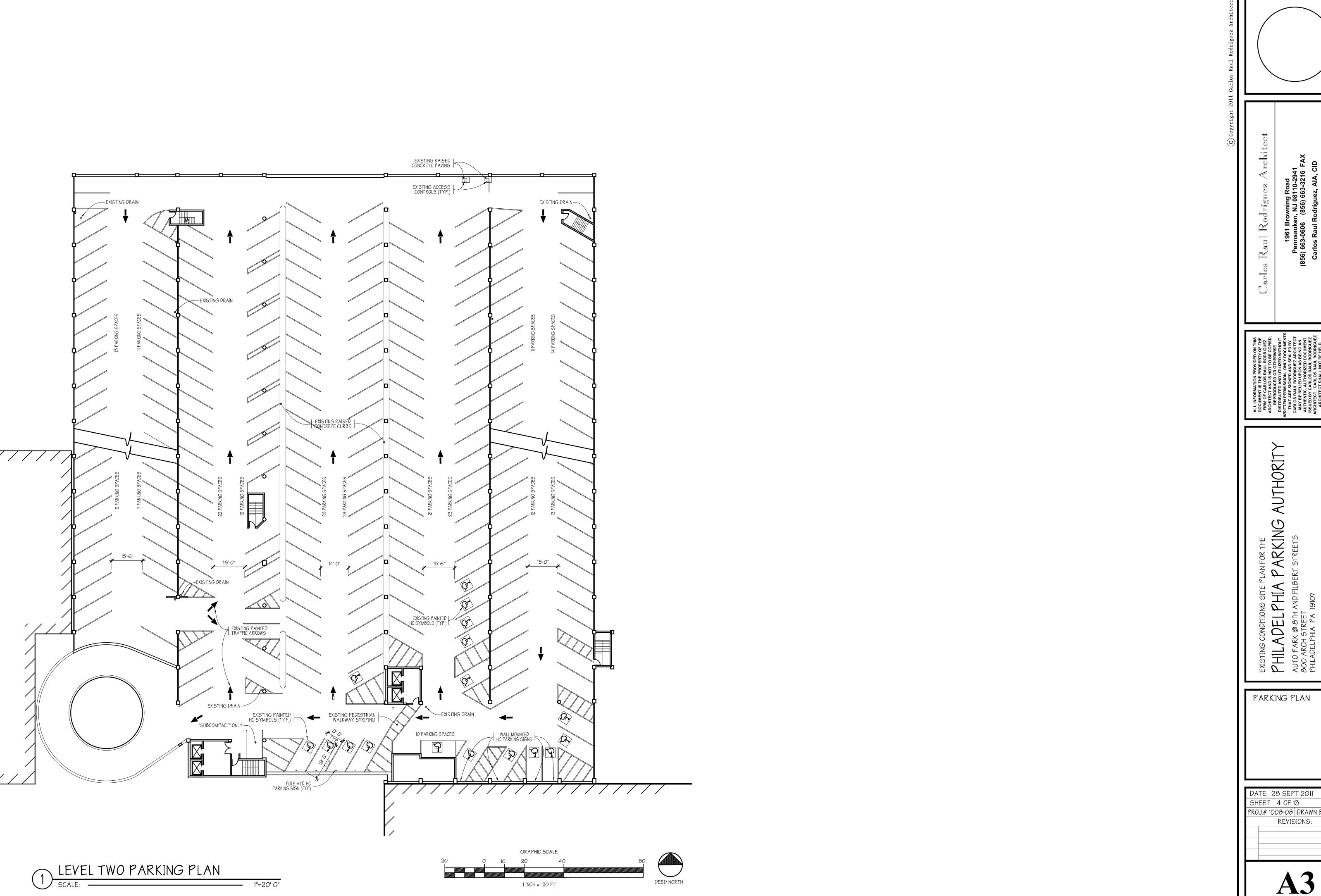
800 ARCH STREET

PHILADELPHIA, PA 19107

PARKING PLAN

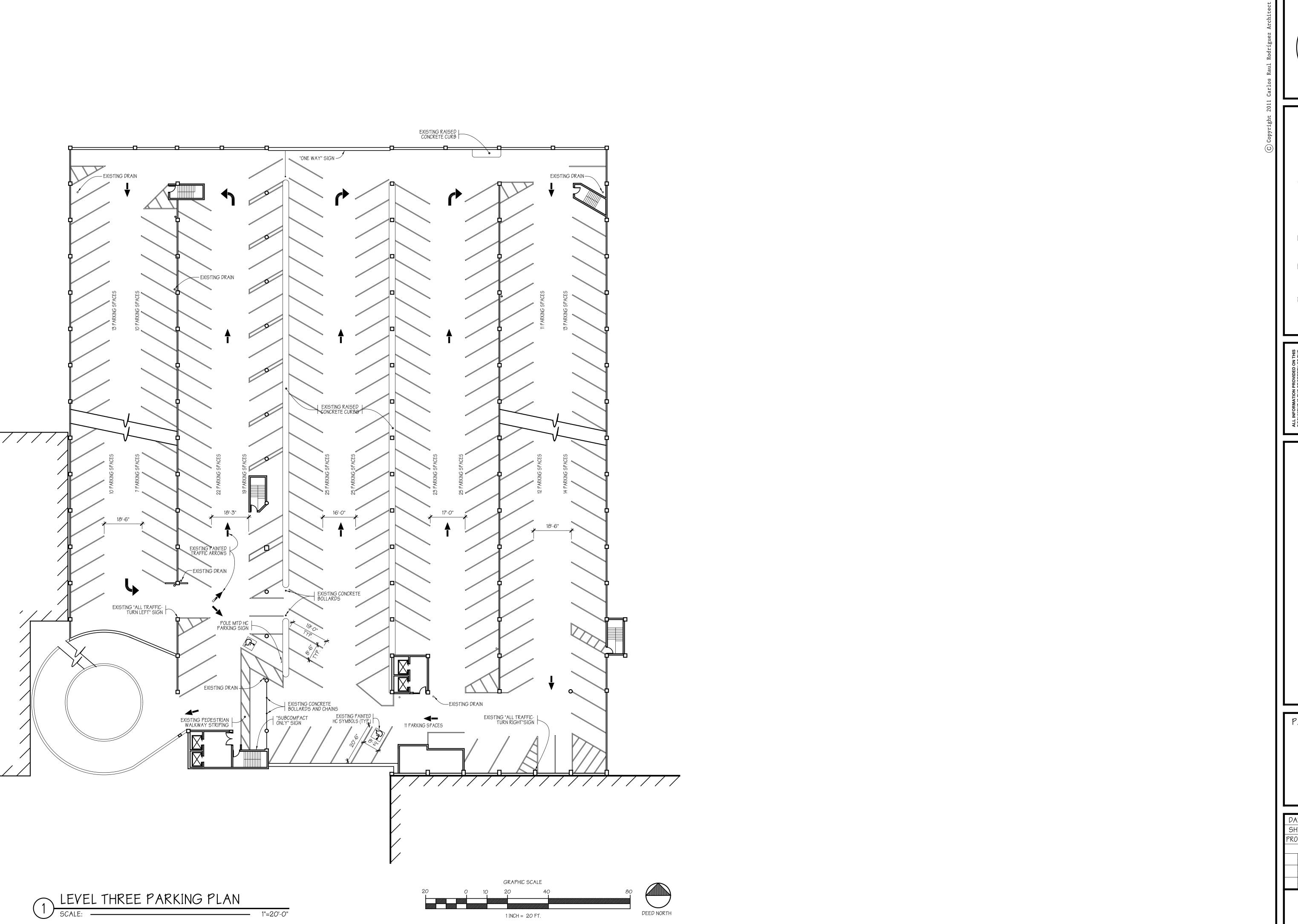
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SHEET 3 OF 13 PROJ.# 1008-08 DRAWN BY: JAT REVISIONS:



DATE: 28 SEPT 2011 SHEET 4 OF 13

PROJ.# 1008-08 DRAWN BY: JAT REVISIONS:



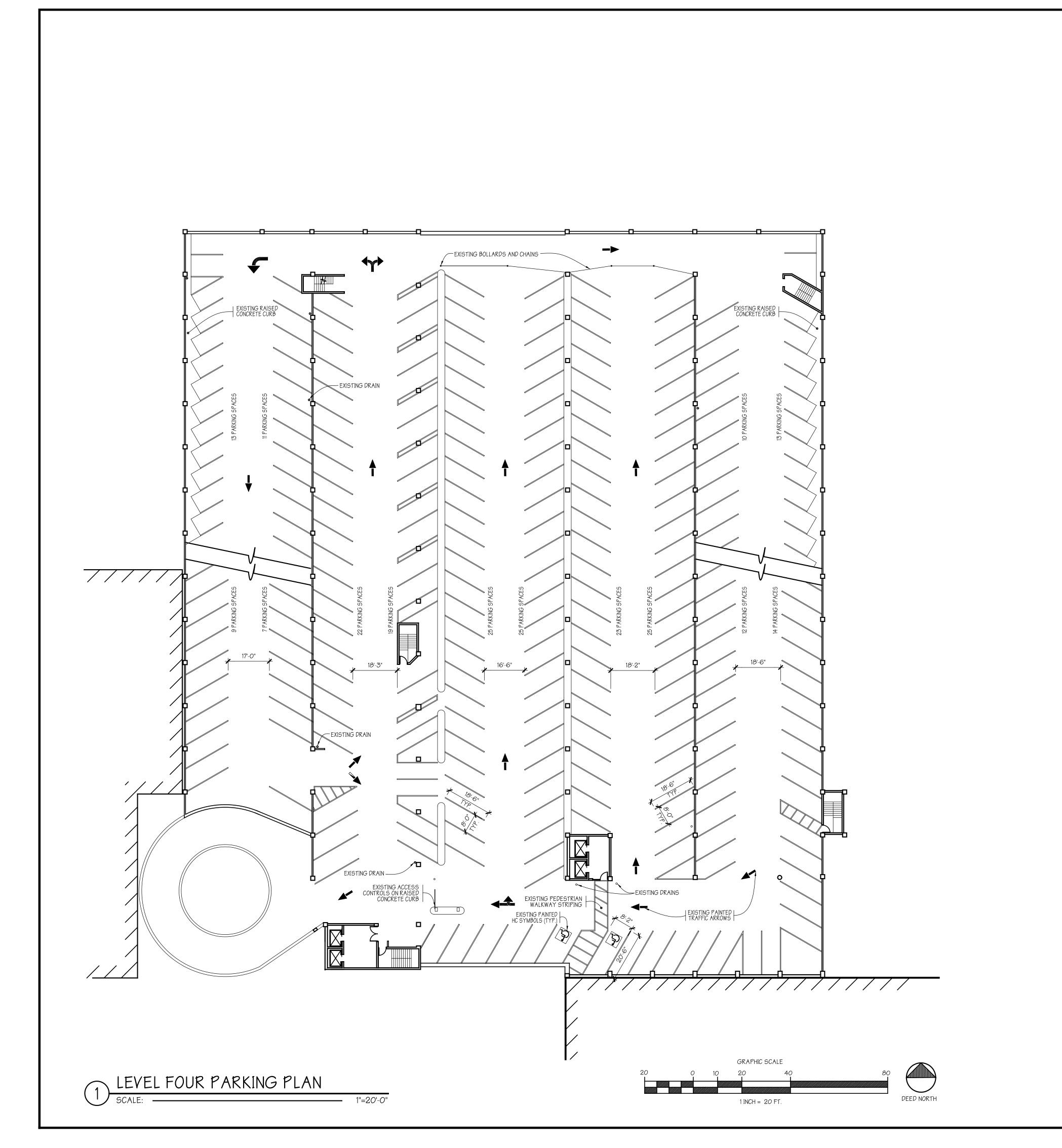
EXISTING CONDITIONS SITE PLAN FOR THE PHILADEL PHIA PARKING AUTHORIT AUTO PARK @ 8TH AND FILBERT STREETS

800 ARCH STREET
PHILADELPHIA, PA 19107

PARKING PLAN

DATE: 28 SEPT 2011

SHEET 5 OF 13 PROJ.# 1008-08 DRAWN BY: JAT REVISIONS:

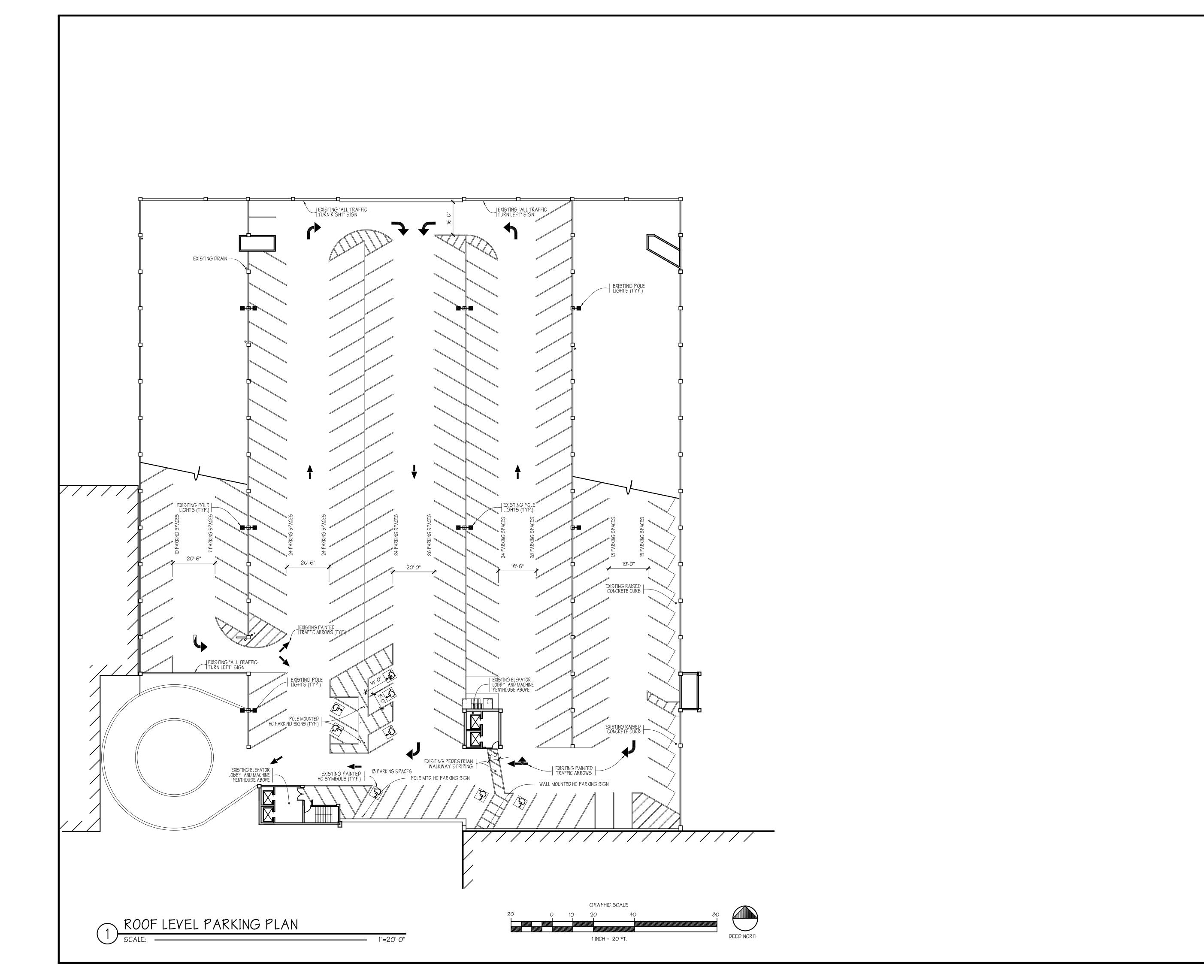


EXISTING CONDITIONS SITE PLAN FOR THE PHILADEL PHIA PARKING AUTHORIT AUTO PARK @ 8TH AND FILBERT STREETS

800 ARCH STREET
PHILADELPHIA, PA 19107

PARKING PLAN

DATE: 28 SEPT 2011 SHEET 6 OF 13 PROJ.# 1008-08 DRAWN BY: JAT REVISIONS:



EXISTING CONDITIONS SITE PLAN FOR THE PHILADEL PHIA PARKING AUTHORIT AUTO PARK @ 8TH AND FILBERT STREETS
800 ARCH STREET
PHILADELPHIA, PA 19107

PARKING PLAN

DATE: 28 SEPT 2011 SHEET 7 OF 13 PROJ.# 1008-08 DRAWN BY: JAT REVISIONS:

## Bid No. 19-05 Power Sweeping Services Philadelphia International Airport Garage Square Footage and Vehicle Clearance Height

A WEST - 77,755 sq ft		
Short Term	10,906 sq ft	
Level 1	10,906 sq ft	
Level 2	10,906 sq ft	
Level 3	10,906 sq ft	
Level 4	10,906 sq ft	
Level 5	10,906 sq ft	
Level 6	7,678 sq ft	
Level 7	4,641 sq ft	

A EAST - 59,670 sq ft		
Short Term	9,945 sq ft	
Level 1	9,945 sq ft	
Level 2	9,945 sq ft	
Level 3	9,945 sq ft	
Level 4	9,945 sq ft	
Level 5	9,945 sq ft	

B GARAGE - 70,668 sq ft		
Short Term	11,778 sq ft	
Level 1	11,778 sq ft	
Level 2	11,778 sq ft	
Level 3	11,778 sq ft	
Level 4	11,778 sq ft	
Level 5	11,778 sq ft	

C GARAGE - 65,082 sq ft		
Short Term	10,847 sq ft	
Level 1	10,847 sq ft	
Level 2	10,847 sq ft	
Level 3	10,847 sq ft	
Level 4	10,847 sq ft	
Level 5	10,847 sq ft	

AWEST, AEAST, and B Combined Total: 208,093 sq ft

D GARAGE - 72,102 sq ft		
Short Term	12,017 sq ft	
Level 1	12,017 sq ft	
Level 2	12,017 sq ft	
Level 3	12,017 sq ft	
Level 4	12,017 sq ft	
Level 5	12,017 sq ft	

E GARAGE -	104,912 sq ft
Short Term	13,114 sq ft
Level 1	13,114 sq ft
Level 2	13,114 sq ft
Level 3	13,114 sq ft
Level 4	13,114 sq ft
Level 5	13,114 sq ft
Level 6	13,114 sq ft
Level 7	13,114 sq ft

F Garage - 75,688 sq ft		
Short Term	9,461 sq ft	
Level 1	9,461 sq ft	
Level 2	9,461 sq ft	
Level 3	9,461 sq ft	
Level 4	9,461 sq ft	
Level 5	9,461 sq ft	
Level 6	9,461 sq ft	
Level 7	9,461 sq ft	

Economy Lot - 239,580 sq ft

E/F Combined Total: 180,600 sq ft

